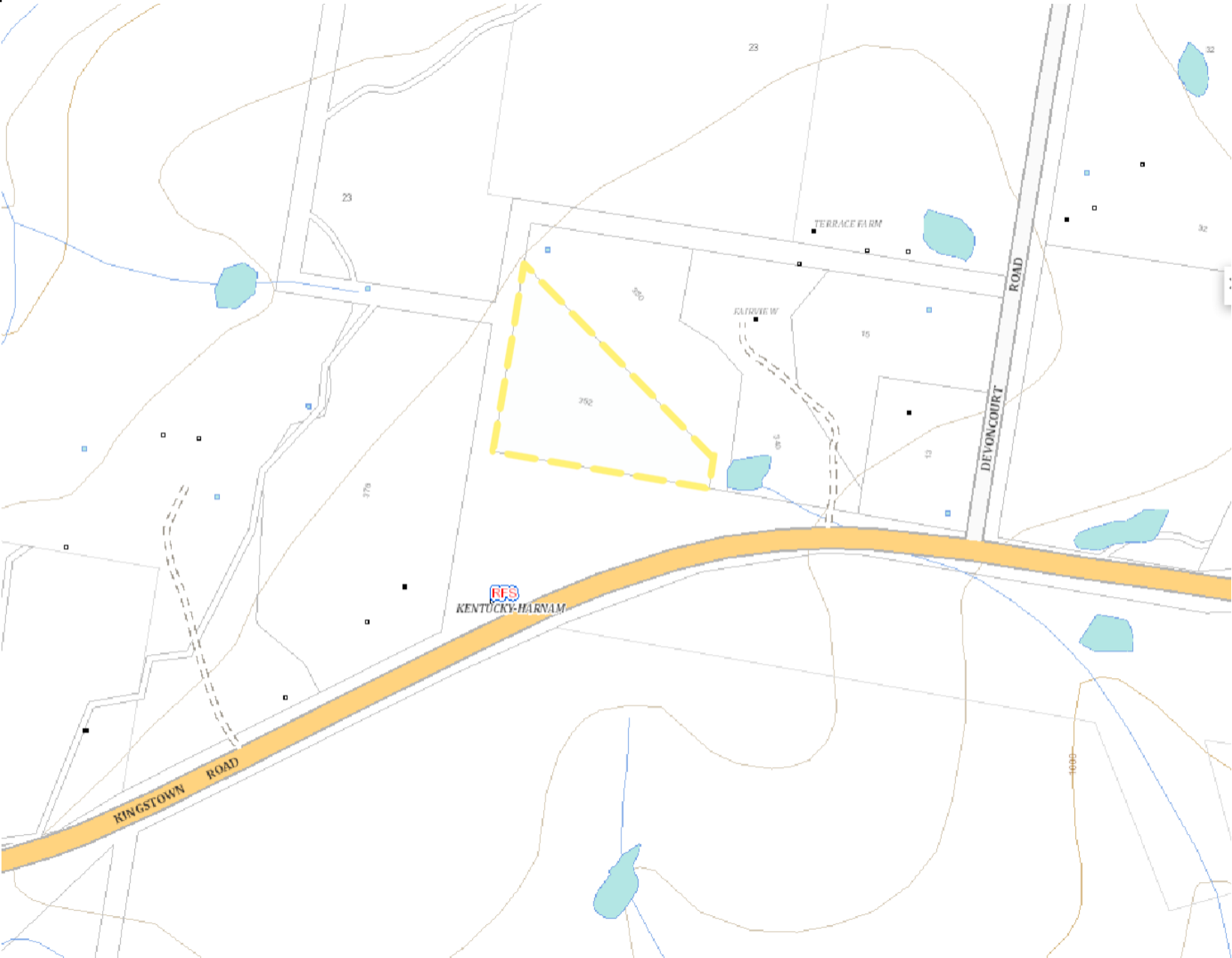


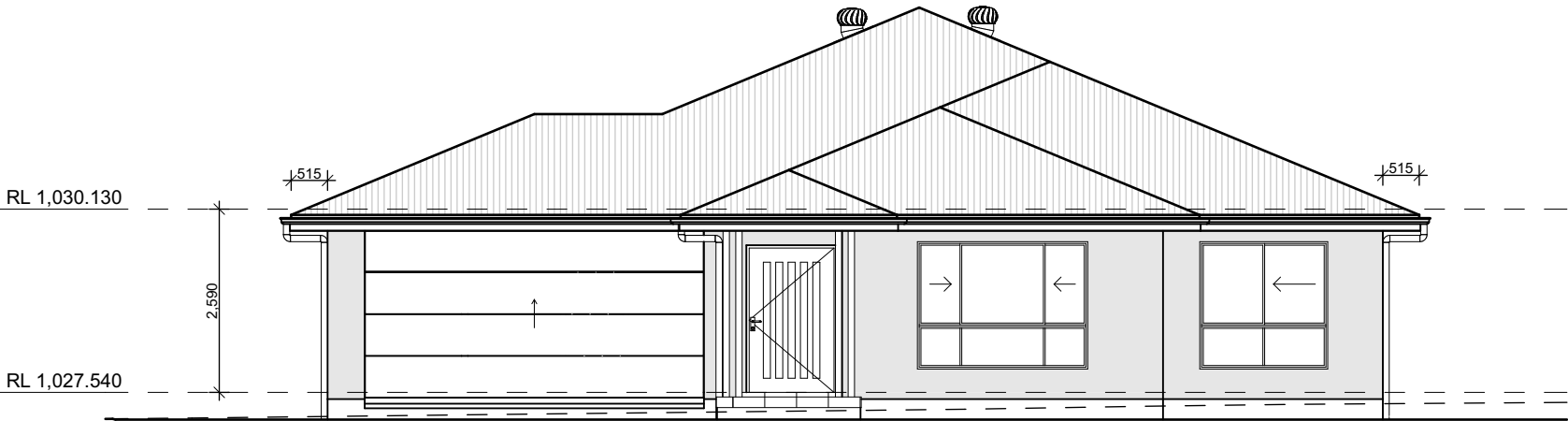
WORKING DOCUMENTATION

DWG No. DRAWING TITLE

WD01	COVER SHEET
WD02	SURVEY
WD03	LOCATION PLAN
WD04	SITE SETOUT PLAN
WD05	FLOOR PLAN
WD06	ELEVATIONS
WD07	ELEVATIONS
WD08	SECTION A-A
WD09	CONSTRUCTION DETAILS
WD10	STORMWATER PLAN
WD11	ELECTRICAL SERVICES PLAN
WD12	KITCHEN ELEVATIONS
WD13	WET AREA ELEVATIONS
WD14	WET AREA ELEVATIONS
WD15	WET AREA ELEVATIONS
WD16	INTERNAL ELEVATIONS
WD17	INTERNAL ELEVATIONS
WD18	SLAB PLAN
WD19	DRAINAGE PLAN
WD20	BASIX CERTIFICATE



SITE LOCALITY
NOT TO SCALE



WD01_{of 20}

COVER SHEET

For Job:

25146

On:

24/06/2026

CONSTRUCTION
PLANS

For the design of a:

ALBION 304 AAC VEENER RESIDENCE
AND ATTACHED GARAGE WITH
BOWMAN FACADE

For:

Jay Michael Grills & Hannah
Leigh Grills

At:

5 / - / 1301970
352 KINGSTOWN ROAD
URALLA ,
NSW, 2358

- UNLESS NOTED OTHERWISE ALL DIMENSIONS ARE FRAME DIMESNIONS AND DO NOT ACCOUNT FOR FLOOR, WALL OR CEILING COVERINGS UNO.
- ANY PAGE MAY CONTAIN COLOUR CODED INFORMATION AND AS SUCH BLACK AND WHITE COPIES MAY NOT REFLECT INFORMATION AS INTENDED
- ALL DIMENSIONS AND LEVELS ARE TO BE CONFIRMED PRIOR TO COMMENCEMENT OF WORK ONSITE, ANY ERRORS,DISCREPANCIES OR OMISSIONS ARE TO BE REFERED TO THE BUILDER FOR CLARIFICATION
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANT DOCUMENTATION
- EQUIPMENT, FIXTURES AND FITTINGS ARE DIAGRAMATIC ONLY AND SPECIFICATION IS TO BE OBTAINED FROM COLOUR SELECTION DOCUMENTATION
- ALL MATERIALS AND WORKMANSHIP IS TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS, NCC AND HIA GUIDELINES.
- UNLESS NOTED OTHERWISE THE FOLLOWING STANDARD DIMENSIONS APPLY.
 - ALL SQUARE SETS 2150mm HEAD HEIGHT (FRAME)
 - ALL DOORS ARE 2040mm LEAF HEIGHT
 - ALL WINDOW HEAD HEIGHTS ARE 2130mm
 - WINDOW SILLS WHERE NOTED ARE TO FINISHED SILL HEIGHT
- WATERPROOFING COMPLIANCE IS TO BE IN ACCORDANCE WITH NCC2022 HOUSING PROVISIONS PART 10.2.WHERE FLOOR WASTES ARE PROVIDED THE FLOOR SURFACE SHALL HAVE FALLS BETWEEN 1:50 & 1:80

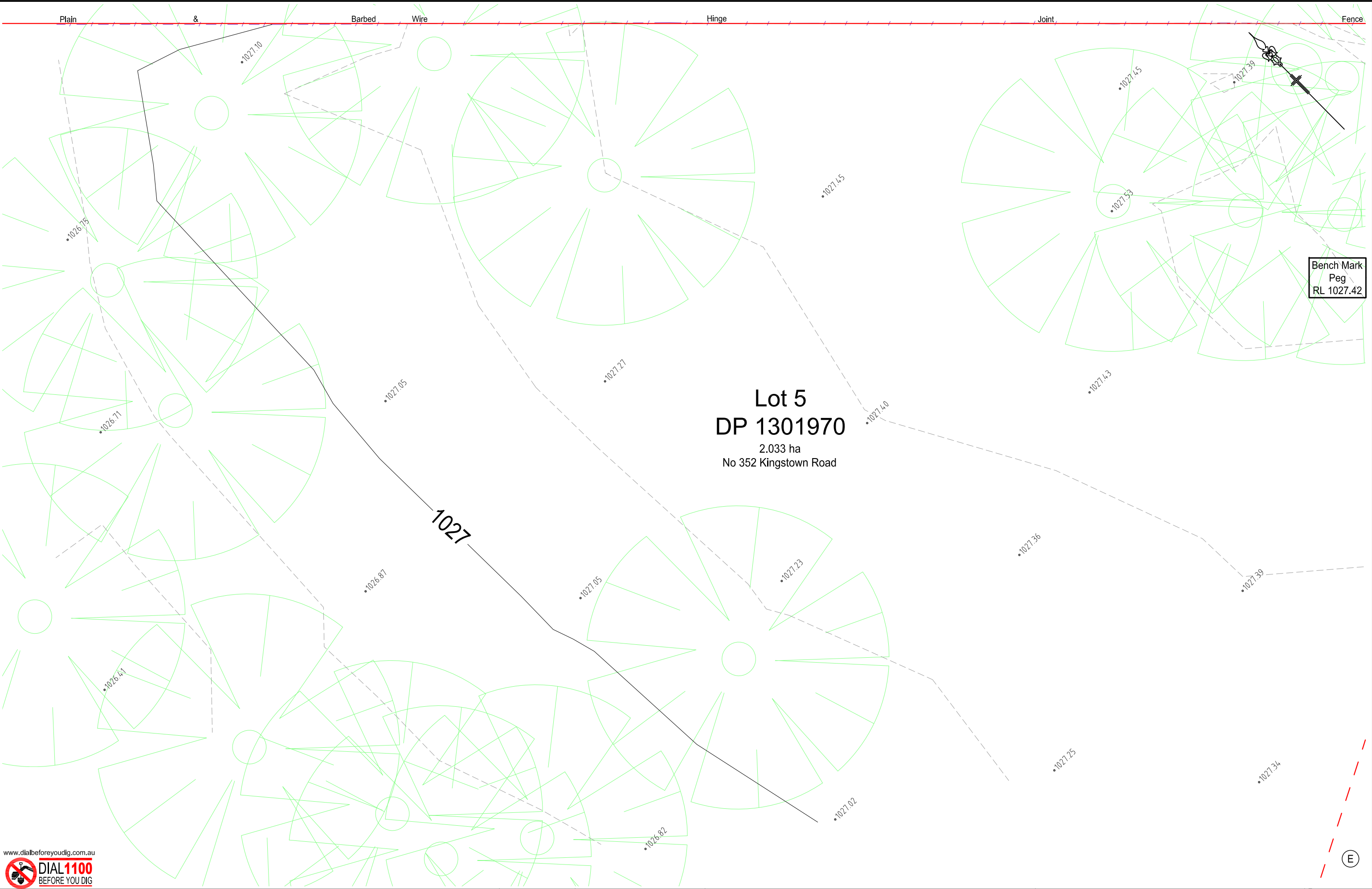
Wind Classification:	Soil Classification:
N3	P(H1)
Mine Subsidence:	Acid Sulphate Soil:
No	No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
No	No
Mains Sewer Available:	Stormwater Drainage:
UPTURN	UPTURN
<1km to Breaking Surf:	<100m to Salt Water:
No	No
Rock:	Flood Min RL:
No (>3M)	No
Bushfire Requirements:	
BAL-12.5	



Hunter Homes Pty Ltd Builders Lic. 216162C
11 Hank Street, Heatherbrae, NSW, 2324
Website: www.hunterhomesnsw.com
Email: info@hunterhomesnsw.com
Phone: (02) 4987 4909 ABN: 76 133 887 064
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No.	DETAIL
1. JM	CONTRACT PLANS
2. JM	DRAFTING/ESTIMATING MARKUPS
3. JM	CT AMENDMENTS
4. MM	COUNCIL DOCUMENTS
5. DT	VARIATION 2 RELOCATE DRIVEWAY
6. HP	CONSTRUCTION PLANS
7. JM	DRIVEWAY AND TANK NOTE

DATE
13/03/2026
18/03/2026
24/03/2026
15/04/2026
13/05/2026
08/06/2026
24/06/2026



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LEGEND (EXISTING — LIGHT PROPOSED — DARKER)
CENTRE LINE
KERB AND GUTTER
TOP OF BATTER
SURFACE DRAINAGE
EDGE OF BITUMEN SEAL
FENCELINE
SEWERMAIN
WATERMAIN (& SIZE)
STORMWATER DRAINAGE
OVERHEAD POWER
UNDERGROUND ELECTRICAL

Rev.	DESCRIPTION	APPROVED	DATE
A	Issued for Client's information	M.Beath	20.01.26

Model:	25154V03
DL:	26004V01
Survey:	G.Haberle
Drawn:	G.Haberle
Designed:	Not Applicable
Checked:	M.Beath

Original A3 Drawing Scale Bar:
Contours at 0.2m Intervals
A3 Scale 1:1,000
Drawing: 26004D Rev A
Datum Description:
SSM 68930 RL 1010.759 GDA 2020
Located on the west side of Devoncourt Rd
840m north of Kingstown Rd intersection

BATH STEWART ASSOCIATES Pty Ltd
DEVELOPMENT CONSULTANTS
SURVEYORS — ENGINEERS — PLANNERS — PROJECT MANAGERS
239 Marius Street TAMWORTH NSW 2340
Telephone (02) 6766 5966 A.C.N. 659 162 062
office@bathstewart.com.au

HUNTER HOMES PTY LTD 352 KINGSTOWN ROAD URALLA NSW	Ref. No: 26004D
LOT 5 DP 1301970	Sheet No : 02 of 02
TOPOGRAPHICAL & DETAIL SURVEY	Revision : A

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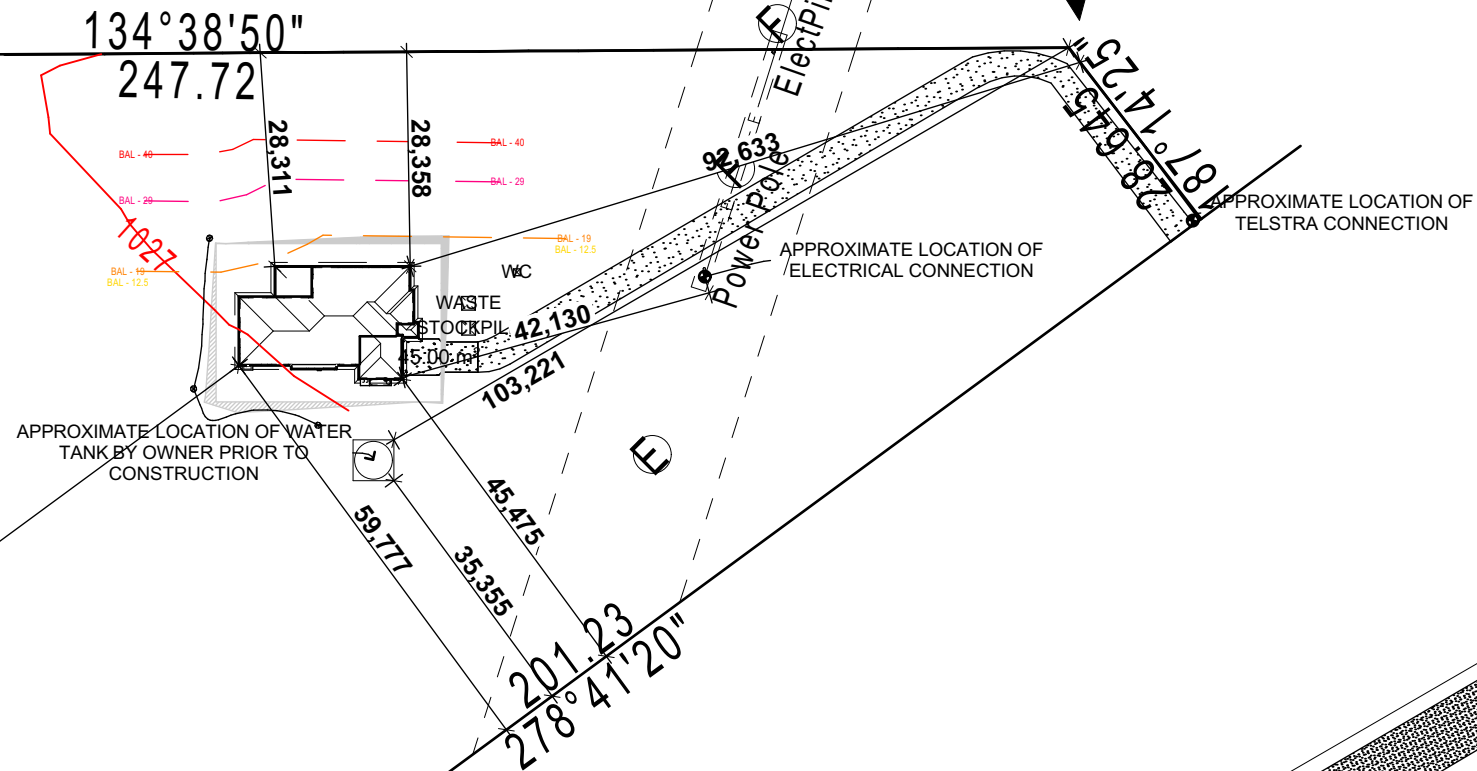
LOCATION PLAN

25146

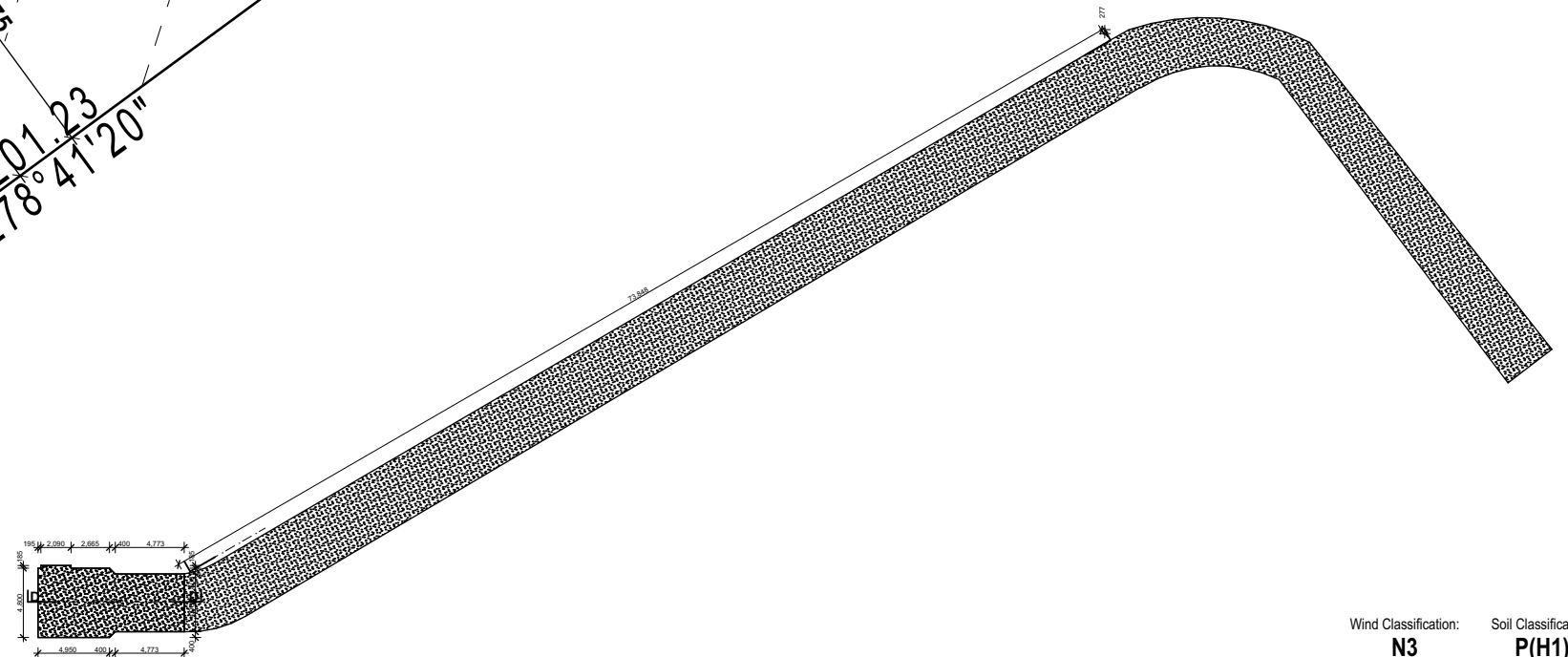
24/06/2026
CONSTRUCTION
PLANS

For: **Jay Michael Grills & Hannah Leigh Grills**

5 / - / 1301970
352 KINGSTOWN ROAD
URALLA ,
NSW, 2358



SCALE 1:1000 @A3



SCALE 1:500 @A3



SCALE 1:250 @A3

Standard Driveway Construction Requirements			
Concrete		Design	
Strength	Not 100mm	Max Grade	2%
Reinforcement	100 x 2.2	Max Kerb Width	600mm
Cover	25mm	Max Exposed Width	600mm
Base Course Thickness	100mm Compacted Road Base	Footpath Removal	Not
Joint	10mm Expansion Joint	Footpath Colour	Existing if applicable
Note Items	1. 100mm Expansion Joint required every 4m Min Width	Kerb Type	Not Top Kerb

Additional Site Class Specifications:
At least 125mm thick slab, 75mm compacted base layer, SL82 reinforcement, joints at max 4.5m grid

Wind Classification:	Soil Classification:
N3	P(H1)
Mine Subsidence:	Acid Sulphate Soil:
No	No
Geocoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
No	No
Mains Sewer Available:	Stormwater Drainage:
UPTURN	UPTURN
<1km to Breaking Surf:	<100m to Salt Water:
No	No
Rock:	Flood Min RL:
No (>3M)	No
Bushfire Requirements:	
BAL-12.5	



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4. MM	COUNCIL DOCUMENTS	15/04/2026
5. DT	VARIATION 2 RELOCATE DRIVEWAY	13/05/2026
6. HP	CONSTRUCTION PLANS	08/06/2026
7. JM	DRIVEWAY AND TANK NOTE	24/06/2026

WD04_{of 20}

SITE SETOUT PLAN

For Job:

25146

On:

24/06/2026

CONSTRUCTION
PLANS

For the design of a:

ALBION 304 AAC VEENER RESIDENCE
AND ATTACHED GARAGE WITH
BOWMAN FACADE

For:

Jay Michael Grills & Hannah
Leigh Grills

At:

5 / - / 1301970

352 KINGSTOWN ROAD
URALLA ,
NSW, 2358

CUT FILL SPLIT

Cubic Meters	37.44	38.84	-1.40
Tonne	82.38	85.44	-3.08

SITE COVERAGE

HARDSTAND	
DRIVEWAY	45.00
	45.00 m ²

RESIDENCE	
ALFRESCO	19.52
GARAGE	32.64
PORCH	4.99
RESIDENCE	235.62
	292.77 m ²

SITE	
	337.77 m ²
	20,338.78

BUILDER IS TO PROVIDE A RUBBLE
CROSSOVER (KERB TO BOUNDARY) ONLY.

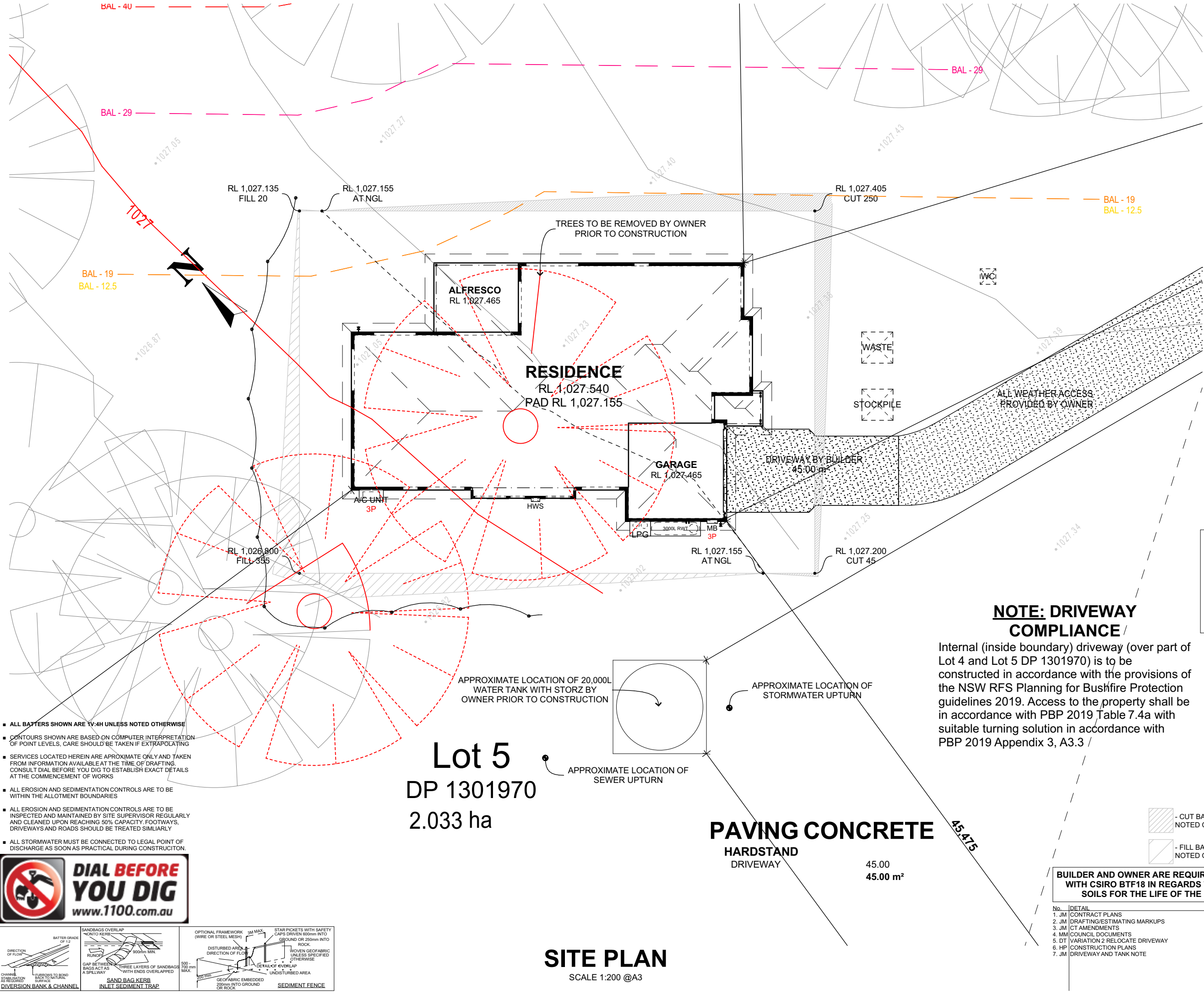
WHERE THE SUPERVISOR DEEMS SITE
CONDITIONS REQUIRE, AN ALL WEATHER
ACCESS IS TO BE CONSTRUCTED BY THE
OWNER BETWEEN THE BOUNDARY AND
THE GARAGE OF THE PROPOSED
DWELLING.

Wind Classification:	Soil Classification:
N3	P(H1)
Mine Subsidence:	Acid Sulphate Soil:
No	No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
No	No
Mains Sewer Available:	Stormwater Drainage:
UPTURN	UPTURN
<1km to Breaking Surf:	<100m to Salt Water:
No	No
Rock:	Flood Min RL:
No (>3M)	No
Bushfire Requirements:	
BAL-12.5	

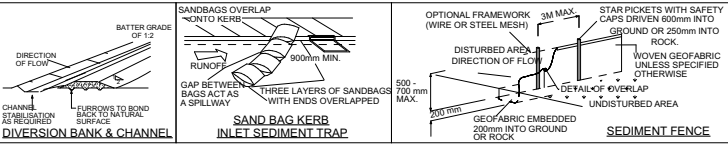


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- ALL BATTERS SHOWN ARE 1V:4H UNLESS NOTED OTHERWISE
- CONTOURS SHOWN ARE BASED ON COMPUTER INTERPRETATION OF POINT LEVELS, CARE SHOULD BE TAKEN IF EXTRAPOLATING
- SERVICES LOCATED HEREIN ARE APPROXIMATE ONLY AND TAKEN FROM INFORMATION AVAILABLE AT THE TIME OF DRAFTING. CONSULT DIAL BEFORE YOU DIG TO ESTABLISH EXACT DETAILS AT THE COMMENCEMENT OF WORKS
- ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE WITHIN THE ALLOTMENT BOUNDARIES
- ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSPECTED AND MAINTAINED BY SITE SUPERVISOR REGULARLY AND CLEANED UPON REACHING 50% CAPACITY. FOOTWAYS, DRIVEWAYS AND ROADS SHOULD BE TREATED SIMILARLY
- ALL STORMWATER MUST BE CONNECTED TO LEGAL POINT OF DISCHARGE AS SOON AS PRACTICAL DURING CONSTRUCTION.



Lot 5

DP 1301970

2.033 ha

PAVING CONCRETE

HARDSTAND	
DRIVEWAY	45.00
	45.00 m ²

SITE PLAN

SCALE 1:200 @A3

WD05_{of 20}

FLOOR PLAN

For Job:

25146

On:

24/06/2026

CONSTRUCTION
PLANS

For the design of a:

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URALLA ,
NSW, 2358

FLOOR AREAS

RESIDENCE

RESIDENCE	235.62
GARAGE	32.64
ALFRESCO	19.52
PORCH	4.99

292.77 m²

BASIX AREAS

Ground Floor

Conditioned	210.78
Unconditioned	13.21

223.99 m²

ROOF DETAILS

Roof Type	Pitch	Flat Area
CUSTOM ORB ROOF SHEET		
Raked Ceiling	22.5°	330.55
		330.55 m ²

Wind Classification: Soil Classification:

N3 P(H1)

Mine Subsidence: Acid Sulphate Soil:

No No

Acoustic Requirements: Mains Power:

No Yes

Mains Water Available: Mains Gas Available:

No No

Mains Sewer Available: Stormwater Drainage:

UPTURN UPTURN

<1km to Breaking Surf: <100m to Salt Water:

No No

Rock: Flood Min RL:

No (>3M) No

Bushfire Requirements:

BAL-12.5



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24/03/2026

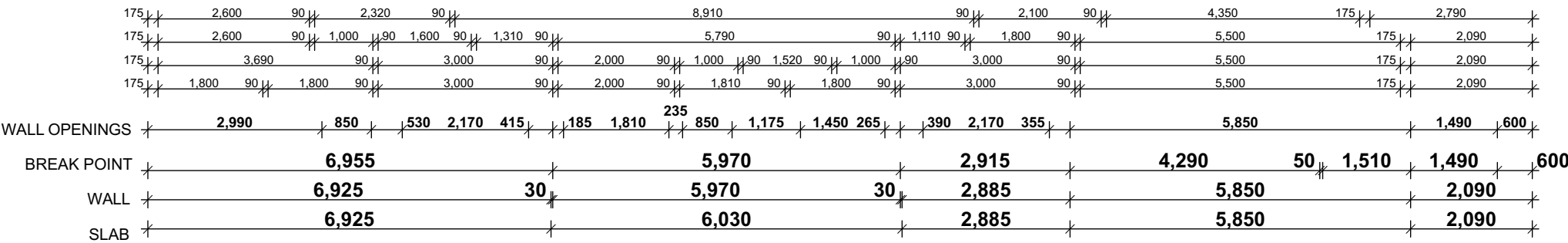
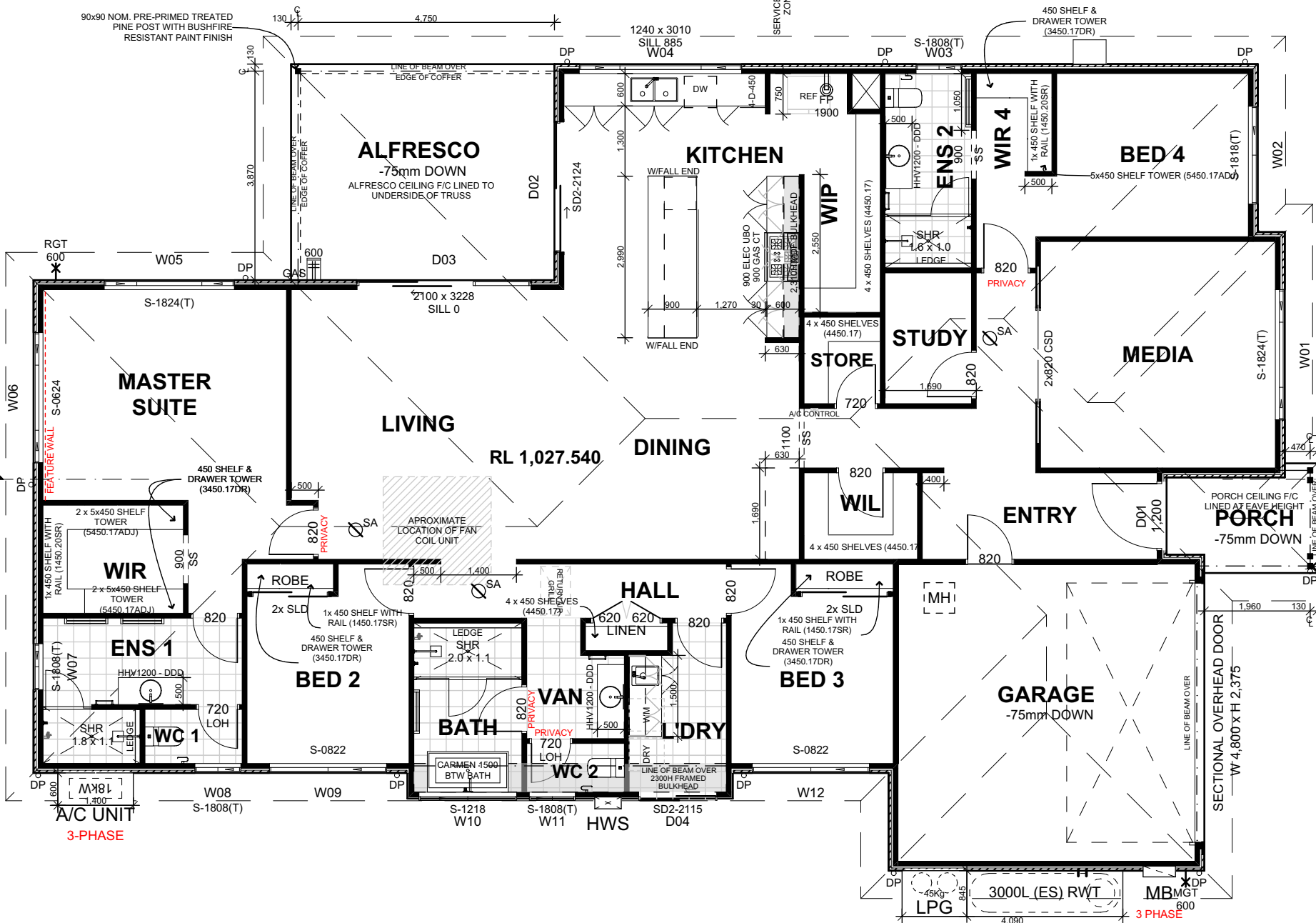
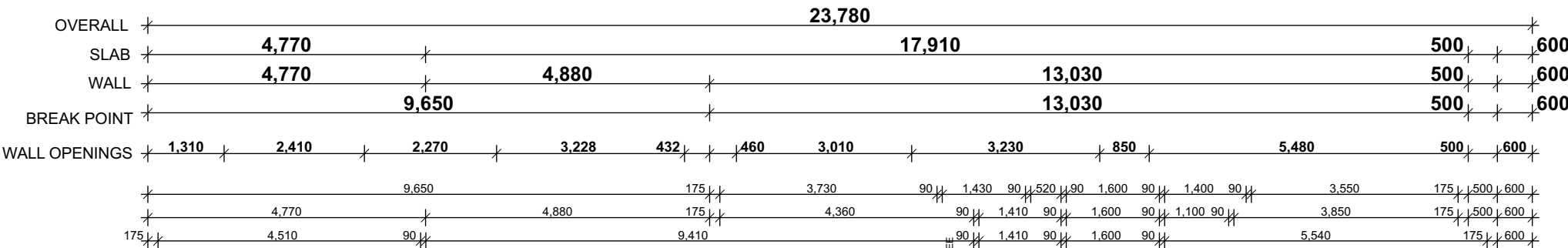
15/04/2026

13/05/2026

08/06/2026

24/06/2026

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FLOOR PLAN

SCALE 1:100 @A3

- No. 1. JM CONTRACT PLANS
- 2. JM DRAFTING/ESTIMATING MARKUPS
- 3. JM CT AMENDMENTS
- 4. MM COUNCIL DOCUMENTS
- 5. DT VARIATION 2 RELOCATE DRIVEWAY
- 6. HP CONSTRUCTION PLANS
- 7. JM DRIVEWAY AND TANK NOTE

DATE

13/03/2026

18/03/2026

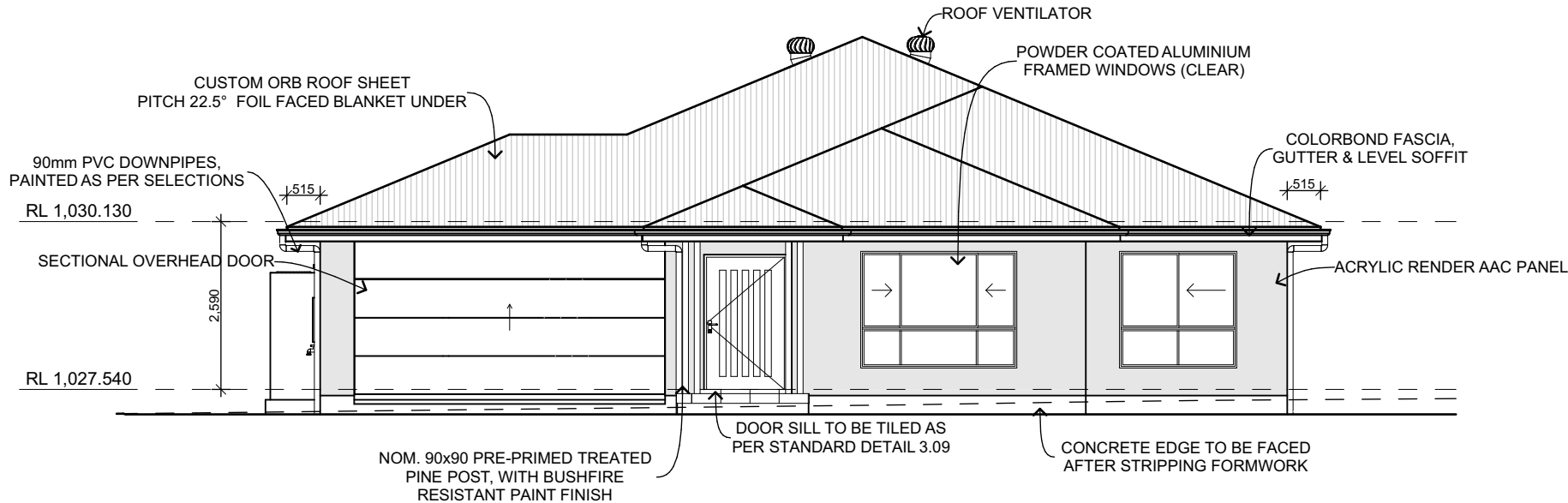
24/03/2026

15/04/2026

13/05/2026

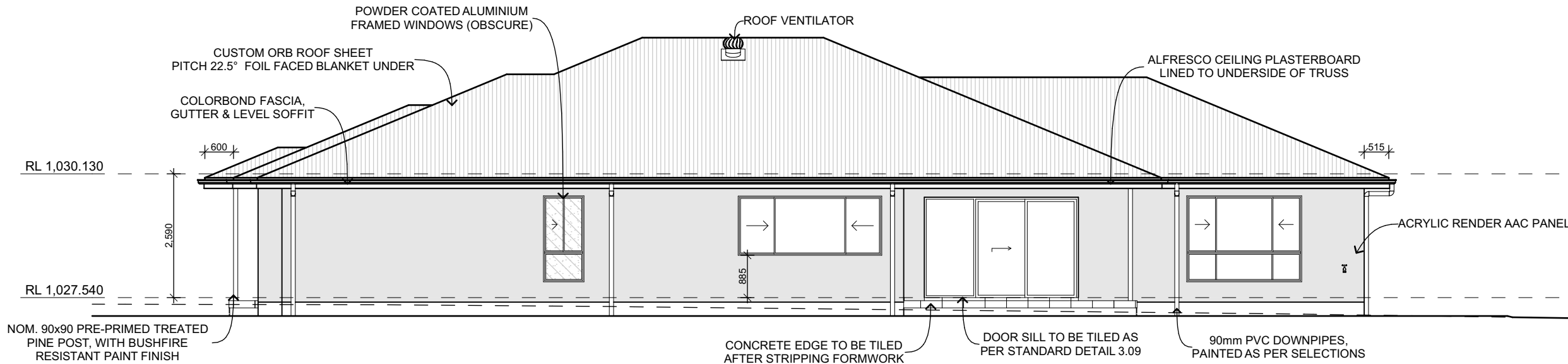
08/06/2026

24/06/2026



FRONT ELEVATION

SCALE 1:100 @A3



RIGHT ELEVATION

SCALE 1:100 @A3

**NOTE: HEBEL SILLS ARE TO BE SNAP SILLS
IN ALL CASES U.N.O**

**NOTE: BRICK SILLS ARE TO BE PROVIDED
TO WINDOWS AS PER BELOW, U.N.O;**

- ALL WINDOWS FACING OUTDOOR LIVING
AREAS (ALFRESCO) SNAP HEADER

- SPLASHBACK WINDOWS SNAP HEADER

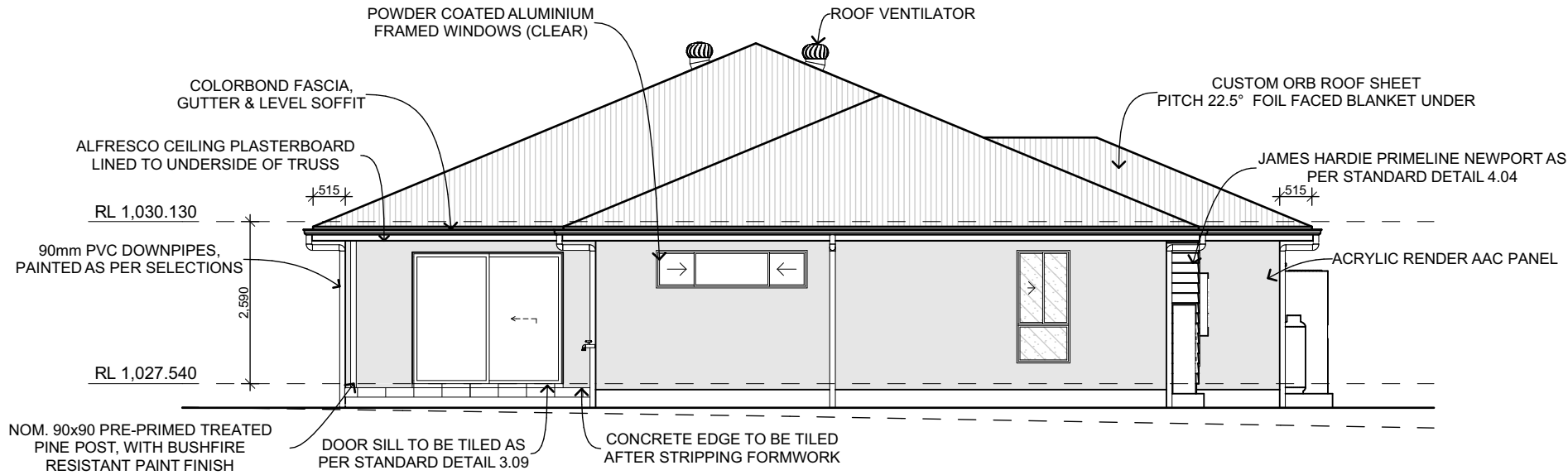
- ALL OTHER CASES RAKED SILL

Wind Classification:	Soil Classification:
N3	P(H1)
Mine Subsidence:	Acid Sulphate Soil:
No	No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
No	No
Mains Sewer Available:	Stormwater Drainage:
UPTURN	UPTURN
<1km to Breaking Surf:	<100m to Salt Water:
No	No
Rock:	Flood Min RL:
No (>3M)	No
Bushfire Requirements:	
BAL-12.5	



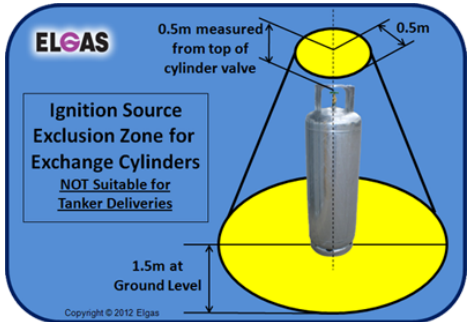
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REAR ELEVATION

SCALE 1:100 @A3



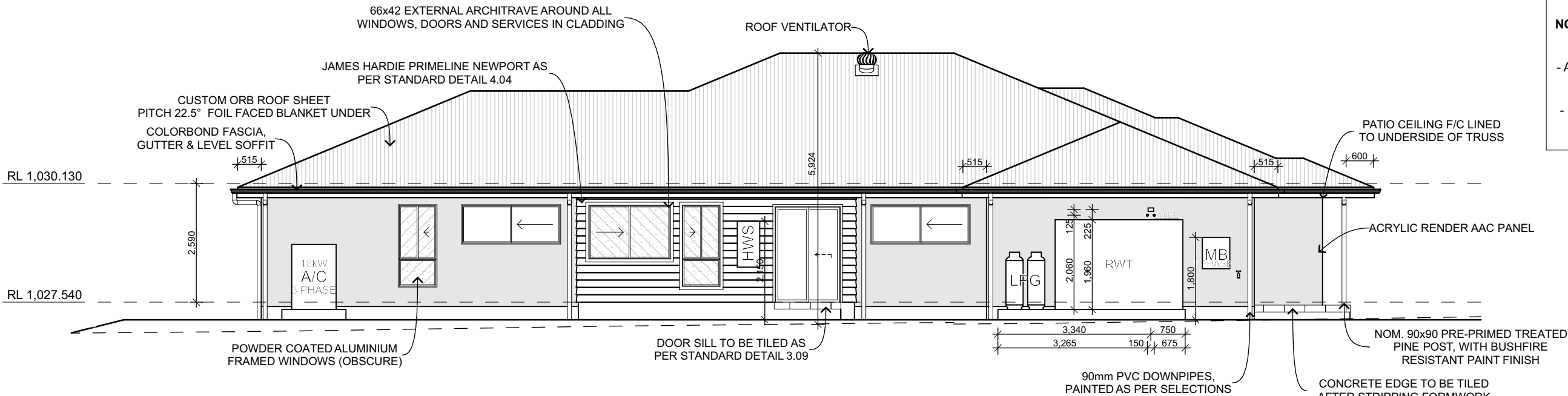
**NOTE: HEBEL SILLS ARE TO BE SNAP SILLS
IN ALL CASES U.N.O**

**NOTE: BRICK SILLS ARE TO BE PROVIDED
TO WINDOWS AS PER BELOW, U.N.O;**

- ALL WINDOWS FACING OUTDOOR LIVING
AREAS (ALFRESCO) SNAP HEADER

- SPLASHBACK WINDOWS SNAP HEADER

- ALL OTHER CASES RAKED SILL



LEFT ELEVATION

SCALE 1:100 @A3

Wind Classification:	Soil Classification:
N3	P(H1)
Mine Subsidence:	Acid Sulphate Soil:
No	No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
No	No
Mains Sewer Available:	Stormwater Drainage:
UPTURN	UPTURN
<1km to Breaking Surf:	<100m to Salt Water:
No	No
Rock:	Flood Min RL:
No (>3M)	No
Bushfire Requirements:	
BAL-12.5	

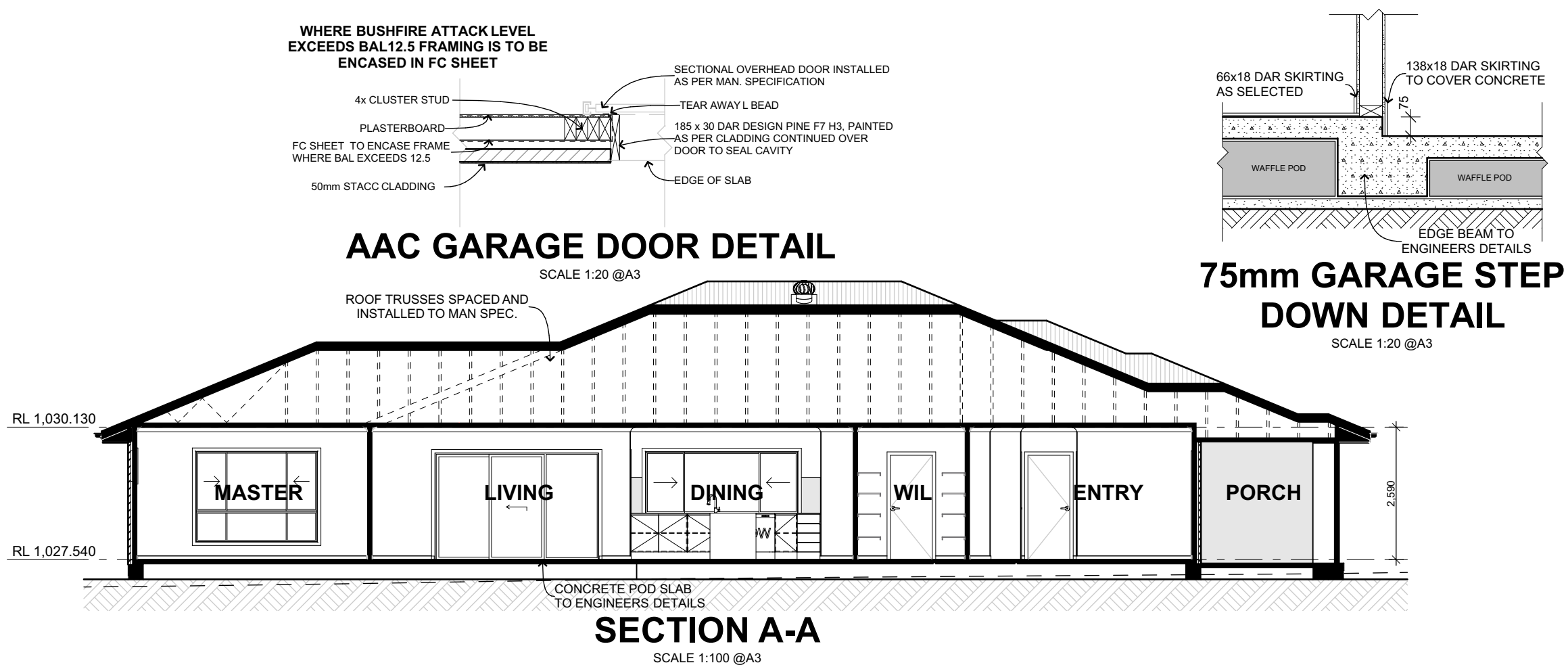


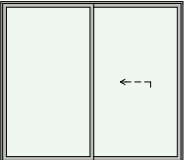
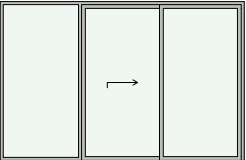
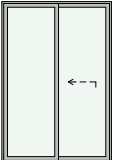
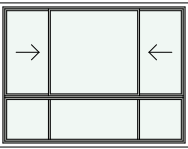
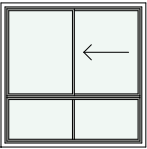
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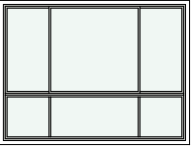
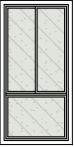
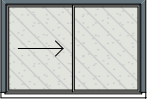
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6. HP	CONSTRUCTION PLANS	08/06/2026
7. JM	DRIVEWAY AND TANK NOTE	24/06/2026

March 2026	BSA Reference: 219639		
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below than the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction. Be aware that BASIX does not over-ride the BCA and the NSW variations must be complied with.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		<i>Added Insulation</i>	
50mm AAC Veneer & Lightweight		Foil + R2.5	
Internal Wall Construction		<i>Added Insulation</i>	
Plasterboard on studs		R2.5 to walls adjacent to garage	
Ceiling Construction		<i>Added Insulation</i>	
Plasterboard		R5.0 to ceilings adjacent to roof space	
Roof Construction		<i>Added Insulation</i>	
Metal	Medium	Foil + R1.3 blanket	
Floor Construction		Coverings	<i>Added Insulation</i>
Concrete (225mm Waffle pod)		As drawn	None
Windows	<i>Glass and frame type</i>	<i>U value</i>	<i>SHGC Range</i>
GJA-106-037		4.45	0.57 - 0.63
			Sliding doors
GJA-013-009		4.66	0.62 - 0.68
			Sliding windows
<i>Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors</i>			
<i>Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers</i>			
Skylights	<i>Glass and frame type</i>	<i>U</i>	<i>SHGC</i>
			<i>Area sq m</i>
			<i>Detail</i>
n/a			
<i>U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified</i>			
Shade elements		<i>(eaves, verandahs, awnings etc)</i>	
All shade elements modelled as drawn			
Ceiling Penetrations		<i>(downlights, exhaust fans, flues etc)</i>	
Downlights are modelled as IC rated with insulation fitted over the fixtures			
All exhaust fans are modelled as sealed			
Additional Notes			
Nil			



ID	D01	D02	D03	D04	W01	W02	W03	W04
External View								
Height	2,040	2,100	2,100	2,100	1,800	1,800	1,800	1,240
Width	1,200	2,410	3,228	1,450	2,410	1,810	850	3,010
Window/Door Type	SWINGING DOOR	ALUMINUM SLIDING DOOR	ALUMINUM SLIDING DOOR	ALUMINUM SLIDING DOOR	SLIDING	SLIDING	ALUMINIUM SLIDING	ALUMINIUM SLIDING
Head Height	2,040	2,100	2,100	2,100	2,130	2,130	2,130	2,125
Sill Height	0	0	0	0	330	330	330	885
Area	2.45	5.06	6.78	3.05	4.34	3.26	1.53	3.73
Comments								

ID	W05	W06	W07	W08	W09	W10	W11	W12
External View								
Height	1,800	600	1,800	1,800	860	1,200	1,800	860
Width	2,410	2,410	850	850	2,170	1,810	850	2,170
Window/Door Type	ALUMINIUM SLIDING	ALUMINIUM SLIDING	ALUMINIUM SLIDING	ALUMINIUM SLIDING	ALUMINIUM SLIDING	SLIDING	SLIDING	ALUMINIUM SLIDING
Head Height	2,130	2,130	2,130	2,130	2,130	2,130	2,130	2,130
Sill Height	330	1,530	330	330	1,270	930	330	1,270
Area	4.34	1.45	1.53	1.53	1.87	2.17	1.53	1.87
Comments								

WINDOW AND DOOR SCHEDULE

CONSTRUCTION PLANS

For: **Jay Michael Grills & Hannah
Leigh Grills**

At: **5 / - / 1301970
352 KINGSTOWN ROAD
URALLA ,
NSW, 2358**

Wind Classification:	Mains Power:	Mains Water Available:	<1km to Breaking Surf:
N3	Yes	No	No
Soil Classification:	Stormwater Drainage:	Mains Gas Available:	<100m to Salt Water:
P(H1)	UPTURN	No	No
Mine Subsidence:	Acid Sulphate Soil:	Mains Sewer Available:	Acoustic Requirements:
No	No	UPTURN	No

Bushfire Requirements:
BAL-12.5
Flood Requirements:
No
Rock (Approx. Depth):
No (>3M)

No.	DETAIL	DATE
1. JM	CONTRACT PLANS	13/03/2026
2. JM	DRAFTING/ESTIMATING MARKUPS	18/03/2026
3. JM	CT AMENDMENTS	24/03/2026
4. MM	COUNCIL DOCUMENTS	15/04/2026
5. DT	VARIATION 2 RELOCATE DRIVEWAY	13/05/2026
6. HP	CONSTRUCTION PLANS	08/06/2026
7. JM	DRIVEWAY AND TANK NOTE	24/06/2026

Hunter Homes Pty Ltd Builders Inc. 2161622 **ABN:** 76 133 887 064
11 Hank Street, Heatherbrae NSW, 2324 **Phone:** (02) 4987 4909
Website: hunterhomesnsw.com **Email:** info@hunterhomesnsw.com
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**HUNTER
HOMES** **BUILDING
LEGACY.**

For Job:

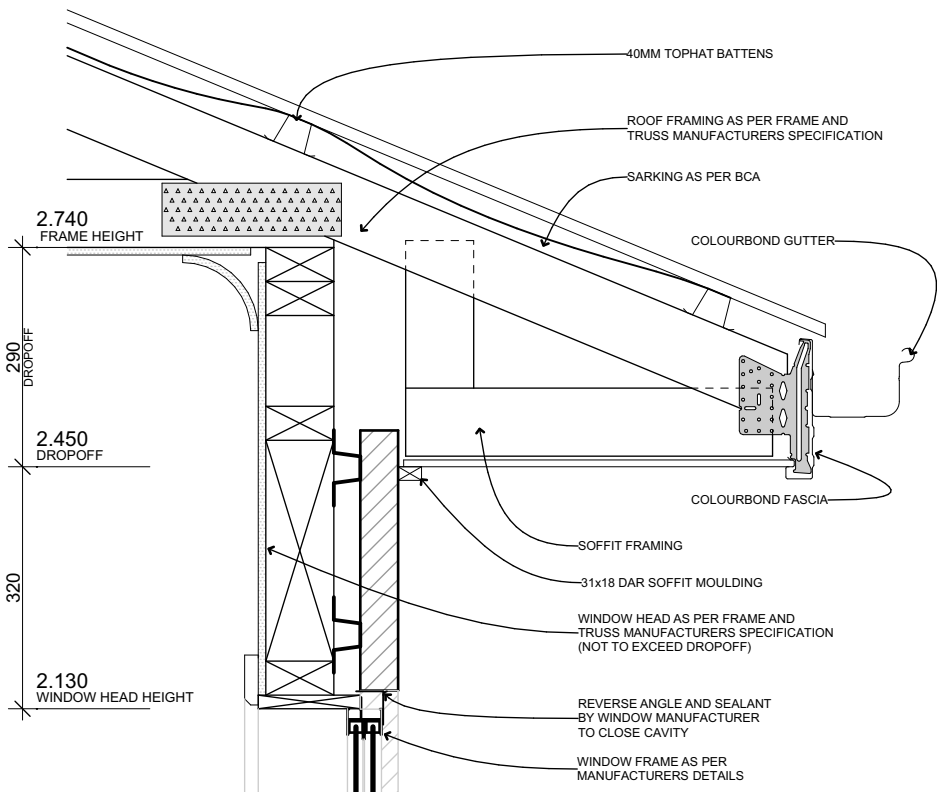
On

WD08_{of 20}

SECTION A-A

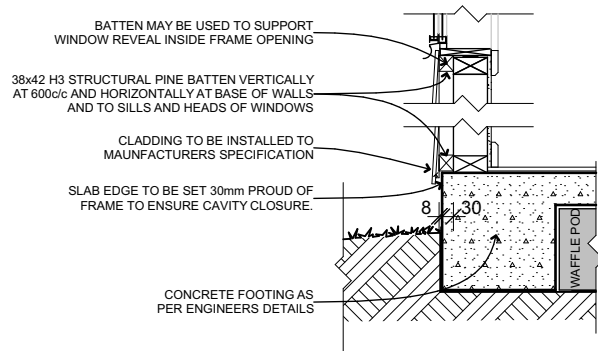
25146

24/06/2026



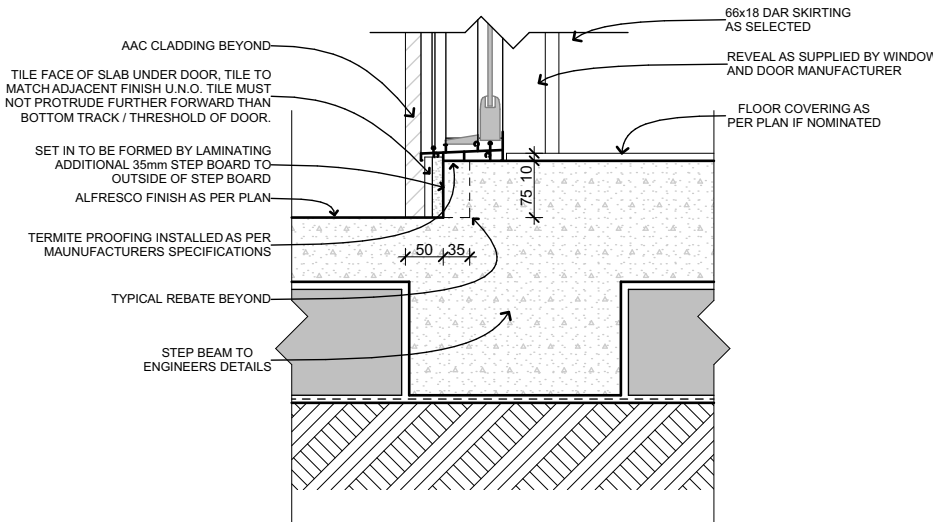
WINDOW HEAD DETAIL

SCALE 1:10 @A3



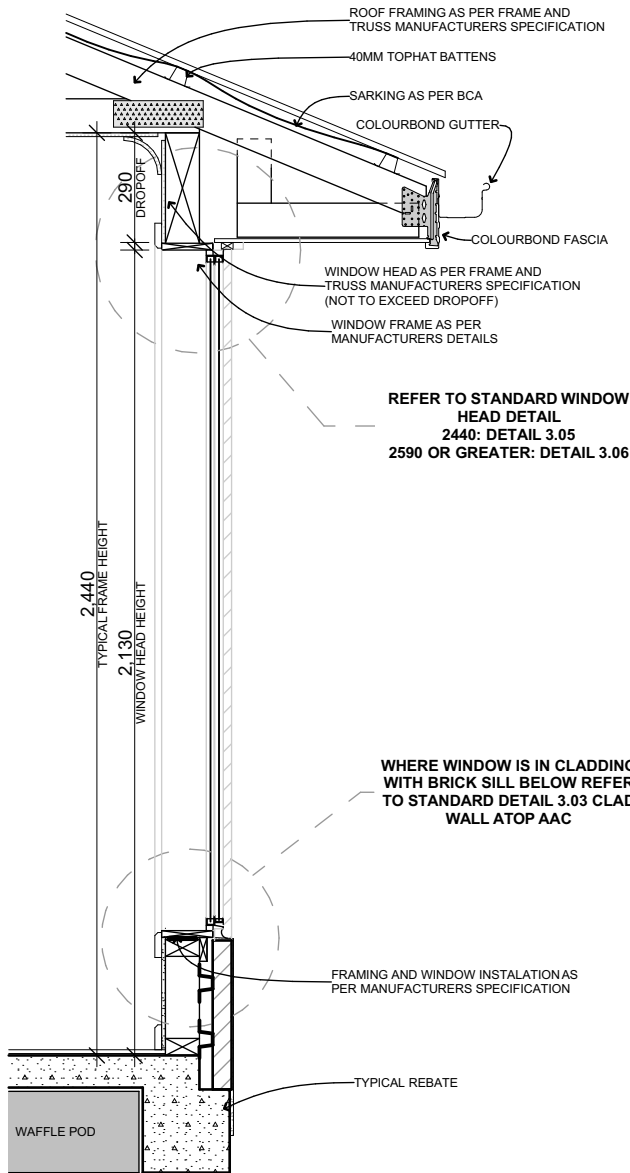
GENERAL LIGHT WEIGHT CLADDING - SLAB EDGE DETAIL

SCALE 1:20 @A3



AAC EXTERNAL DOOR (ALFRESCO)

SCALE 1:10 @A3



AAC WINDOW DETAILS

SCALE 1:20 @A3

Wind Classification:	Soil Classification:
N3	P(H1)
Mine Subsidence:	Acid Sulphate Soil:
No	No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
No	No
Mains Sewer Available:	Stormwater Drainage:
UPTURN	UPTURN
<1km to Breaking Surf:	<100m to Salt Water:
No	No
Rock:	Flood Min RL:
No (>3M)	No
Bushfire Requirements:	
BAL-12.5	



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No.	DETAIL	DATE
1. JM	CONTRACT PLANS	13/03/2026
2. JM	DRAFTING/ESTIMATING MARKUPS	18/03/2026
3. JM	CT AMENDMENTS	24/03/2026
4. MM	COUNCIL DOCUMENTS	15/04/2026
5. DT	VARIAION 2 RELOCATE DRIVEWAY	13/05/2026
6. HP	CONSTRUCTION PLANS	08/06/2026
7. JM	DRIVEWAY AND TANK NOTE	24/06/2026

WD10_{of 20}

STORMWATER PLAN

For Job:

25146

On:

24/06/2026

CONSTRUCTION
PLANS

For the design of a:

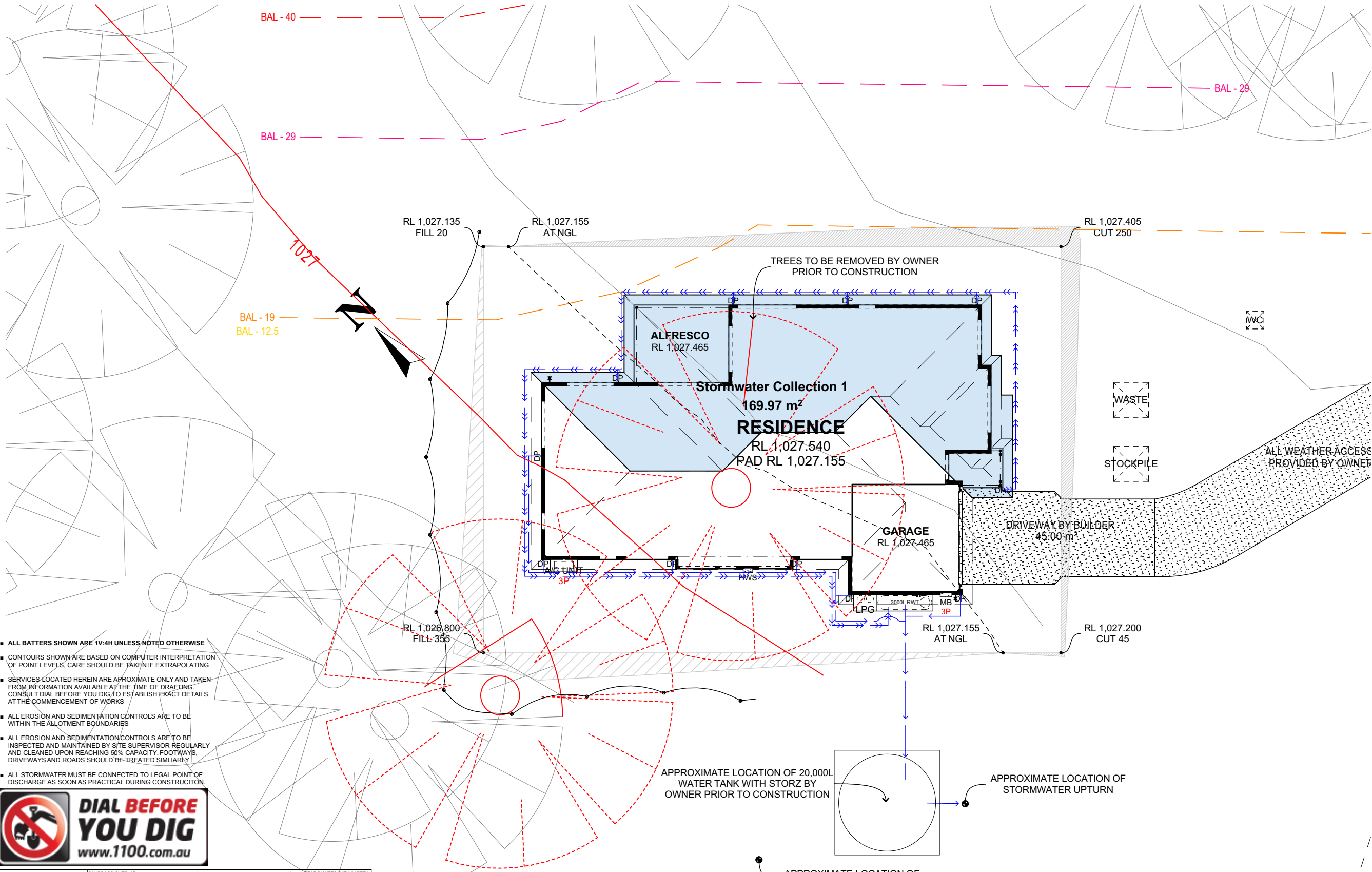
ALBION 304 AAC VEENER RESIDENCE
AND ATTACHED GARAGE WITH
BOWMAN FACADE

For:

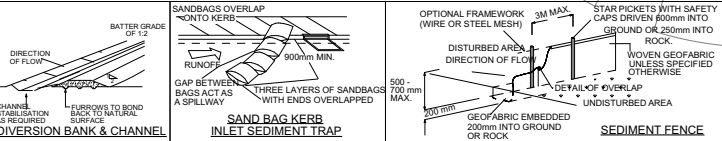
Jay Michael Grills & Hannah
Leigh Grills

At:

5 / - / 1301970
352 KINGSTOWN ROAD
URALLA ,
NSW, 2358



- ALL BATTERS SHOWN ARE 1V:4H UNLESS NOTED OTHERWISE
- CONTOURS SHOWN ARE BASED ON COMPUTER INTERPRETATION OF POINT LEVELS, CARE SHOULD BE TAKEN IF EXTRAPOLATING
- SERVICES LOCATED HEREIN ARE APPROXIMATE ONLY AND TAKEN FROM INFORMATION AVAILABLE AT THE TIME OF DRAFTING. CONSULT DIAL BEFORE YOU DIG TO ESTABLISH EXACT DETAILS AT THE COMMENCEMENT OF WORKS
- ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE WITHIN THE ALLOTMENT BOUNDARIES
- ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSPECTED AND MAINTAINED BY SITE SUPERVISOR REGULARLY AND CLEANED UPON REACHING 50% CAPACITY. FOOTWAYS, DRIVEWAYS AND ROADS SHOULD BE TREATED SIMILARLY
- ALL STORMWATER MUST BE CONNECTED TO LEGAL POINT OF DISCHARGE AS SOON AS PRACTICAL DURING CONSTRUCTION.



	SEDIMENT CONTROL BARRIER TO ATTACHED DETAILS
	CHARGED DRAINAGE LINE FROM DOWNPIPES TO RAINWATER TANK (REQUIRED)
	UNCHARGED DRAINAGE LINE AND PITS FROM RAINWATER TANK OVERFLOW TO LEGAL POINT OF DISCHARGE (REQUIRED)
	UNCHARGED PVC DRAINAGE LINE AND PITS FOR SURFACE WATER COLLECTION
	SLOTTED AND SOCKED "AGG LINE" FOR RETAINING WALLS AND SURFACE WATER COLLECTION

STORMWATER PLAN

SCALE 1:200 @A3

ROOF DETAILS

Roof Type	Pitch	Flat Area
CUSTOM ORB ROOF SHEET	22.5°	330.55
Raked Ceiling		330.55 m²

BUILDER AND OWNER ARE REQUIRED TO COMPLY
WITH CSIRO BTF18 IN REGARDS TO REACTIVE
SOILS FOR THE LIFE OF THE BUILDING

No.	DETAIL	DATE
1. JM	CONTRACT PLANS	13/03/2026
2. JM	DRAFTING/ESTIMATING MARKUPS	18/03/2026
3. JM	CT AMENDMENTS	24/03/2026
4. MM	COUNCIL DOCUMENTS	15/04/2026
5. DT	CONSTRUCTION PLANS	13/05/2026
6. HP	CONSTRUCTION PLANS	08/06/2026
7. JM	DRIVEWAY AND TANK NOTE	24/06/2026

Wind Classification:	Soil Classification:
N3	P(H1)
Mine Subsidence:	Acid Sulphate Soil:
No	No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
No	No
Mains Sewer Available:	Stormwater Drainage:
UPTURN	UPTURN
<1km to Breaking Surf:	<100m to Salt Water:
No	No
Rock:	Flood Min RL:
No (>3M)	No
Bushfire Requirements:	
BAL-12.5	



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ELECTRICAL SERVICES
PLAN

For Job:

25146

On:

24/06/2026

CONSTRUCTION
PLANS

For the design of a:

ALBION 304 AAC VEENER RESIDENCE
AND ATTACHED GARAGE WITH
BOWMAN FACADE

For:

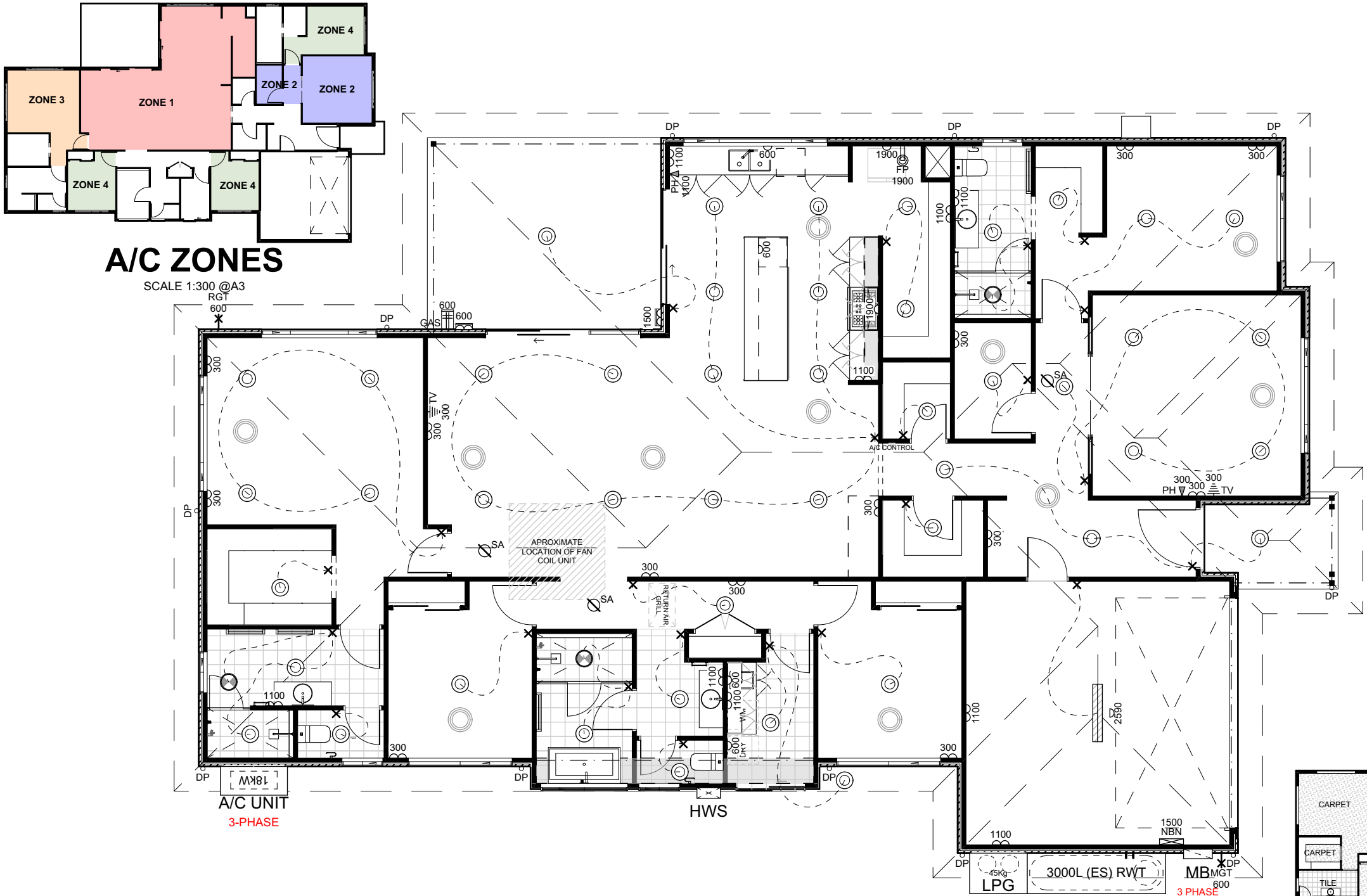
Jay Michael Grills & Hannah
Leigh Grills

At:

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URALLA ,
NSW, 2358

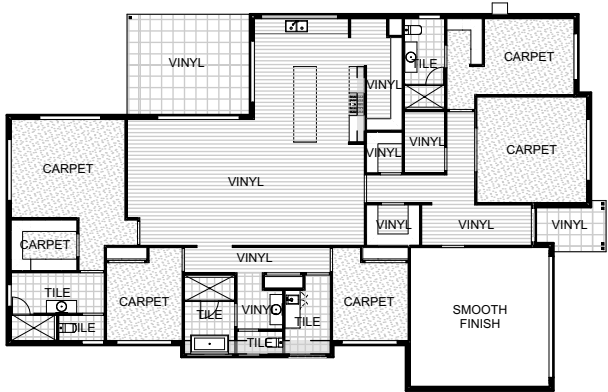
NOTE: ALL FIXTURE LOCATIONS ARE
GOVERNED BY FRAMING. FIXTURES
SHOWN ON PLAN ARE INDICATIVE ONLY,
THE FINAL LOCATION WILL BE
DETERMINED ONSITE BY THE
ELECTRICIAN AS APPROPRIATE
UNLESS DIMENSIONED.

WHERE LOCATIONS AS NOMINATED
ARE NOT POSSIBLE DUE TO
LEGISLATIVE REQUIREMENTS THE
ELECTRICIAN IS TO INFORM THE
BUILDER (SO AS TO INFORM THE
CLIENT) AND PROVIDE THE ITEM IN AN
ALTERNATIVE LOCATION.



ELECTRICAL SERVICES PLAN

SCALE 1:100 @A3



FLOOR COVERING
LAYOUT

SCALE 1:300 @A3

Wind Classification: N3
Mine Subsidence: No
Acoustic Requirements: No
Mains Water Available: No
Mains Sewer Available: UPTURN
<1km to Breaking Surf: No
Soil Classification: P(H1)
Acid Sulphate Soil: No
Mains Power: Yes
Mains Gas Available: No
Stormwater Drainage: UPTURN
<100m to Salt Water: No
Rock: No
Flood Min Risk: No

Bushfire Requirements:
BAL-12.5



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ELECTRICAL LEGEND

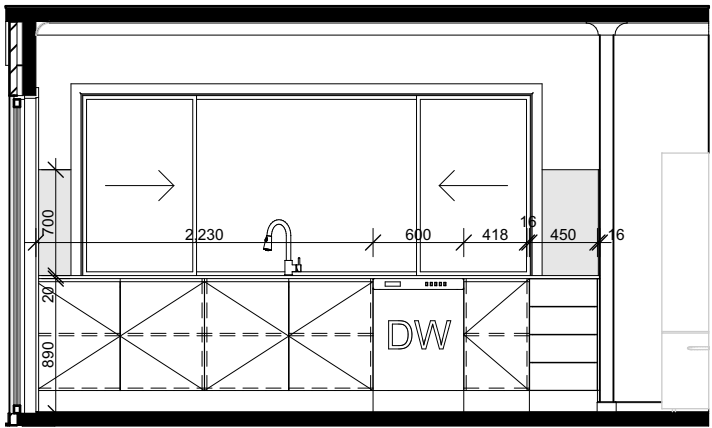
Symbol	QTY.	Name	Comments
	1	900 ELEC UBO	ELECTRIC UNDERBENCH OVEN
	11	A/C Vent	ROUND CEILING MOUNTED A/C OUTLET
	2	DGPO - External	WATERPROOF EXTERNAL DOUBLE POWERPOINT
	22	DGPO - Internal	CLIPSAL ICONIC - VIVID WHITE
	23	Electrical Switch	CLIPSAL ICONIC - VIVID WHITE
	3	Exhaust Fan - Ducted	DUCTED TO EAVE VENT
	2	External Tap	
	1	Gas Bayonet - External	EXTERNAL GAS FITTING AFIXED TO WALL

Symbol	QTY.	Name	Comments
	46	Light Fitting - Ceiling	DOWNLIGHTS
	1	Light Fitting - Fluorescent	
	1	NBN Termination Box	IF APPLICABLE
	2	Phone/Data Point	PREWIRED WITH CONNECTION BY HOMEOWNER AFTER HANDOVER
	7	SGPO - Internal	SINGLE POWERPOINT FOR SERVICES
	3	Smoke Alarm	INSTALLED AS PER A.S 3876
	1	TV Point	5m CABLE COILED IN CEILING
	1	TV Point	5m CABLE COILED IN CEILING & ANTENNA

Symbol	QTY.	Name
	1	Water Point

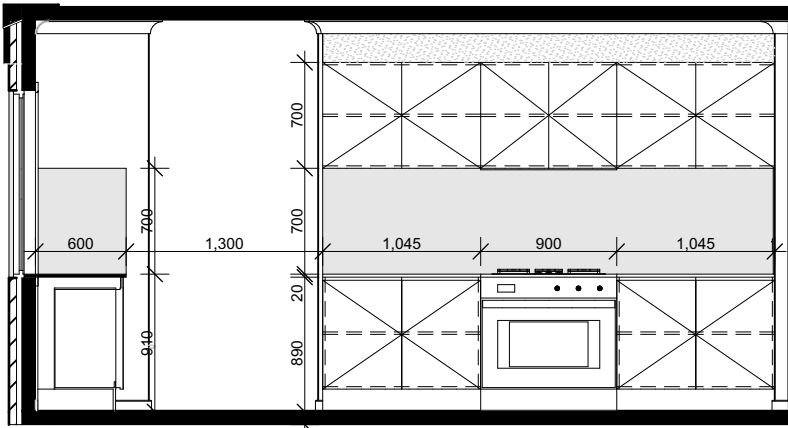
No.	DETAIL
1.	JM CONTRACT PLANS
2.	JM DRAFTING/ESTIMATING MARKUPS
3.	JM CT AMENDMENTS
4.	MM COUNCIL DOCUMENTS
5.	DT VARIATION 2 RELOCATE DRIVEWAY
6.	HP CONSTRUCTION PLANS
7.	JM DRIVEWAY AND TANK NOTE

DATE
13/03/2026
18/03/2026
24/03/2026
15/04/2026
13/05/2026
08/06/2026
24/06/2026



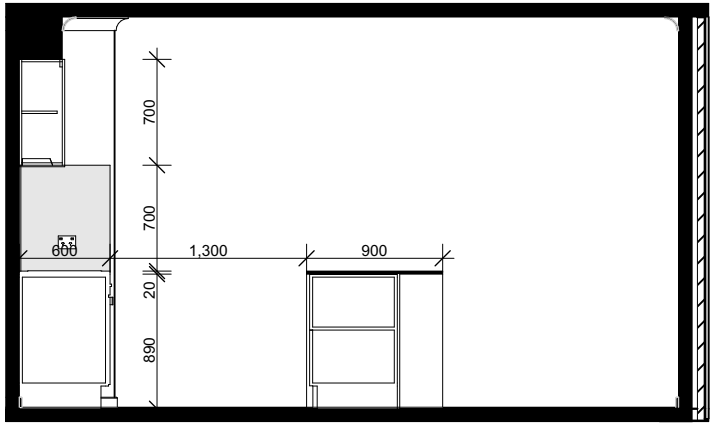
**KITCHEN
ELEVATION A**

SCALE 1:50 @A3



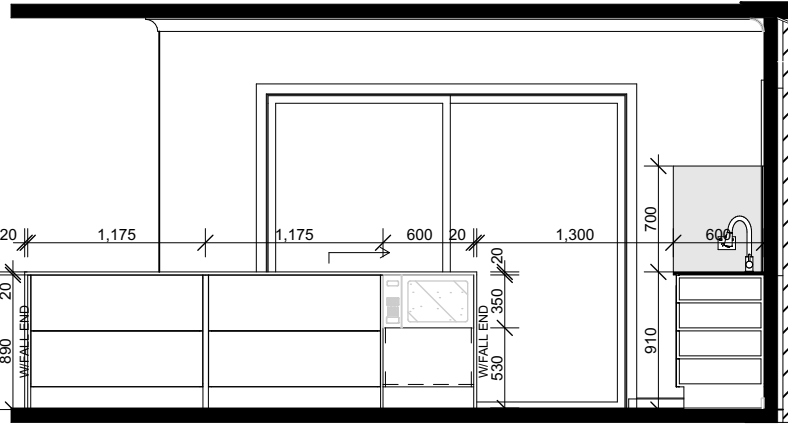
**KITCHEN
ELEVATION B**

SCALE 1:50 @A3



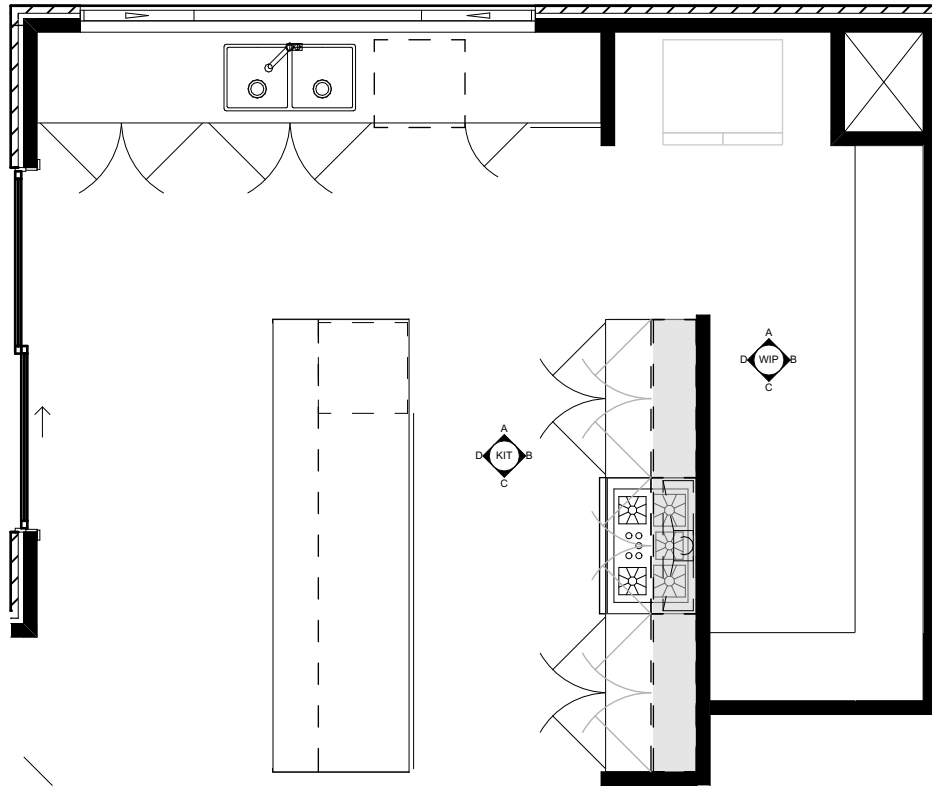
**KITCHEN
ELEVATION C**

SCALE 1:50 @A3



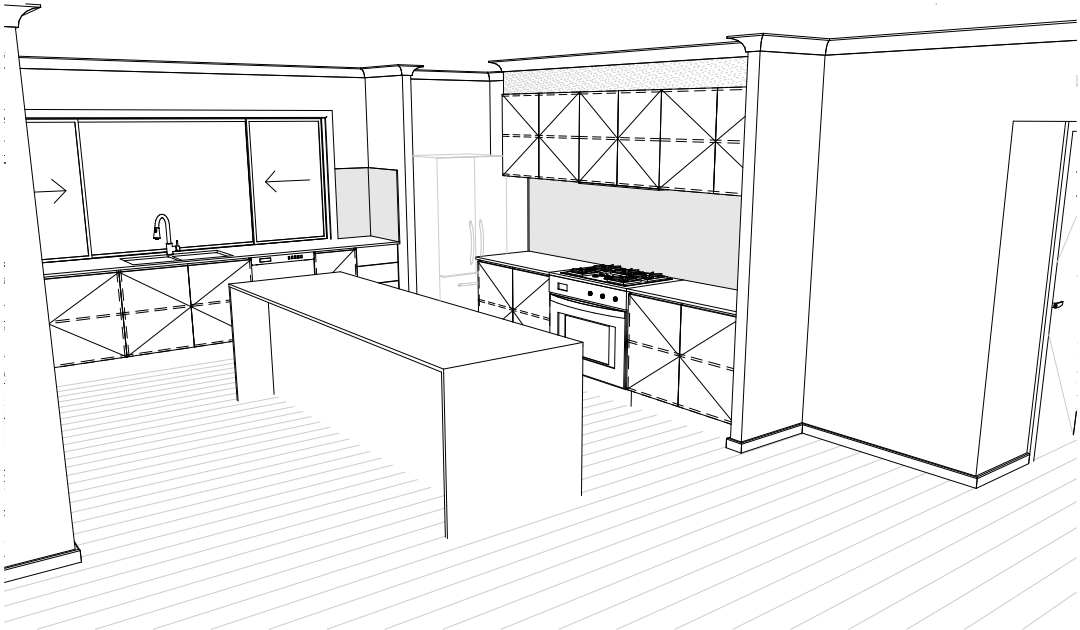
**KITCHEN
ELEVATION D**

SCALE 1:50 @A3



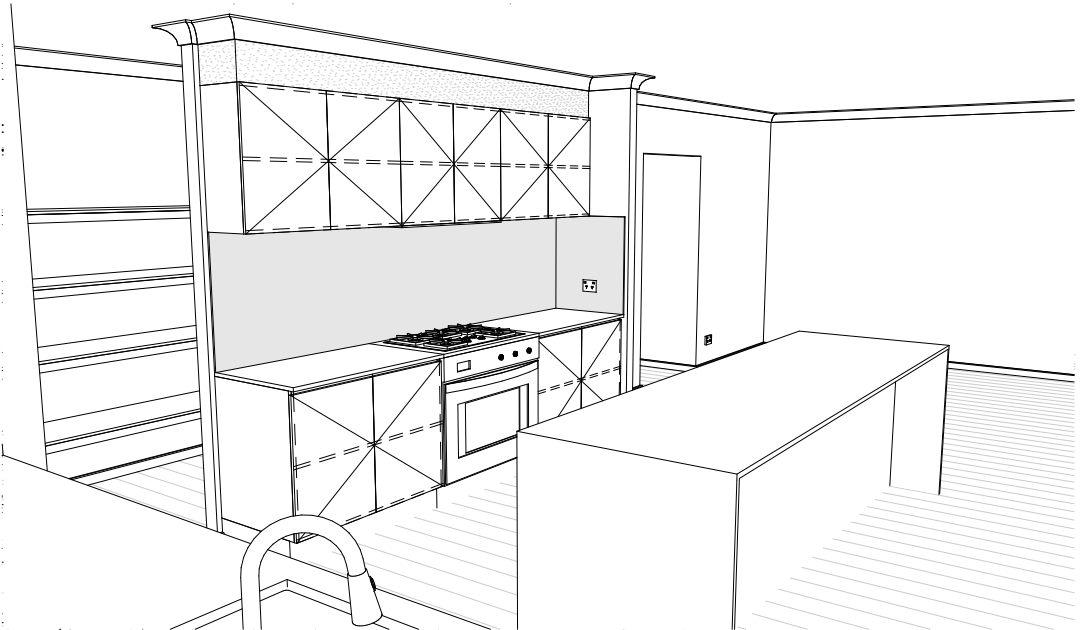
KITCHEN PLAN

SCALE 1:50 @A3



KITCHEN PERSPECTIVE

SCALE 1:40 @A3



KITCHEN PERSPECTIVE 2

SCALE 1:40 @A3

NOTE: DRAWINGS AND IMAGES
CONTAINED HEREIN ARE
DIAGAMATICAL ONLY AND DO NOT
REPRESENT THE END PRODUCT.
REFER TO SELECTION SHEET FOR
DETAILS

- STANDARD WALL TILE
- FEATURE WALL TILE
- FEATURE CABINETRY
- BULKHEADS

WD12_{of 20}

KITCHEN ELEVATIONS

25146

24/06/2026

**CONSTRUCTION
PLANS**

For the design of a:
**ALBION 304 AAC VEENER RESIDENCE AND
ATTACHED GARAGE WITH BOWMAN
FACADE**

For:
**Jay Michael Grills & Hannah
Leigh Grills**
At:
**5 / - / 1301970
352 KINGSTOWN ROAD
URALLA ,
NSW, 2358**

Wind Classification: **N3**
Soil Classification: **P(H1)**
Mine Subsidence: **No**
Mains Power: **Yes**
Stormwater Drainage: **UPTURN**
Acid Sulphate Soil: **No**
Mains Water Available: **<1km to Breaking Surf: No**
Mains Gas Available: **<100m to Salt Water: No**
Mains Sewer Available: **Acoustic Requirements: No**
UPTURN

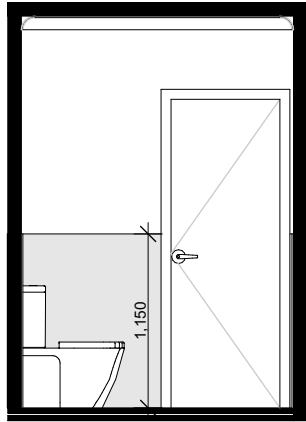
Bushfire Requirements: **BAL-12.5**
Flood Requirements: **No**
Rock (Approx. Depth): **No (>3M)**

No.	DETAIL
1. JM	CONTRACT PLANS
2. JM	DRAFTING/ESTIMATING MARKUPS
3. JM	CT/AMENDMENTS
4. JM	COUNCIL DOCUMENTS
5. DT	VARIAION 2 RELOCATE DRIVEWAY
6. HP	CONSTRUCTION PLANS
7. JM	DRIVEWAY AND TANK NOTE

DATE
13/03/2026
18/03/2026
24/03/2026
15/04/2026
13/05/2026
08/06/2026
24/06/2026

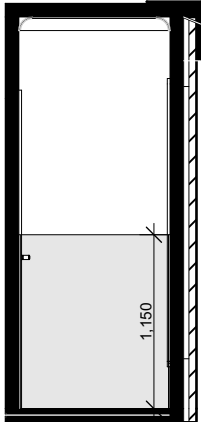
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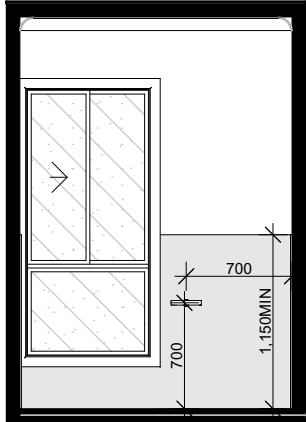
ENSUITE WC
ELEVATION A

SCALE 1:50 @A3



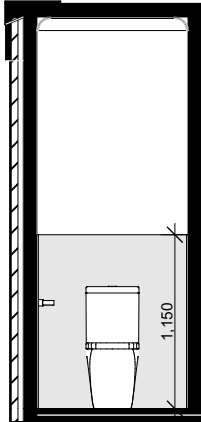
ENSUITE WC
ELEVATION B

SCALE 1:50 @A3



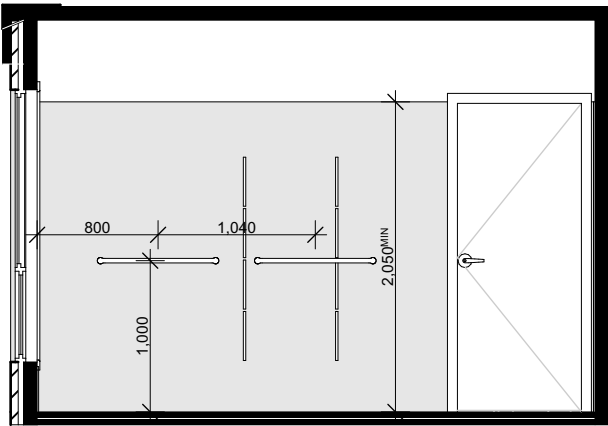
ENSUITE WC
ELEVATION C

SCALE 1:50 @A3



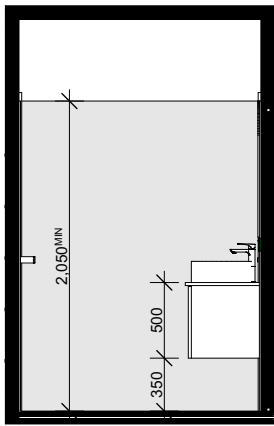
ENSUITE WC
ELEVATION D

SCALE 1:50 @A3



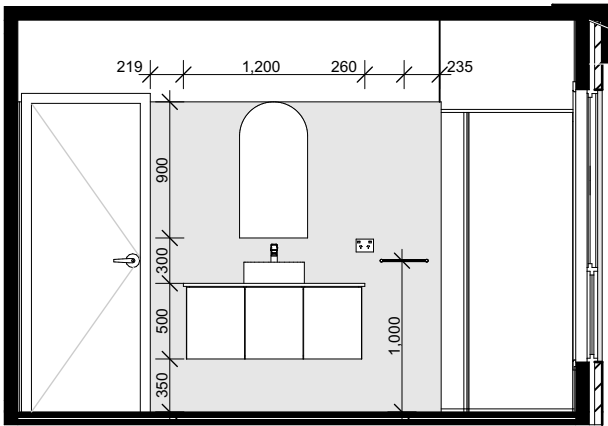
ENSUITE
ELEVATION A

SCALE 1:50 @A3



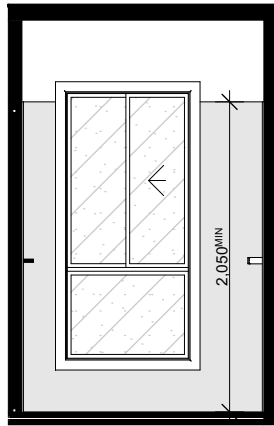
ENSUITE
ELEVATION B

SCALE 1:50 @A3



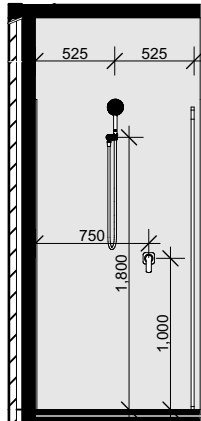
ENSUITE
ELEVATION C

SCALE 1:50 @A3



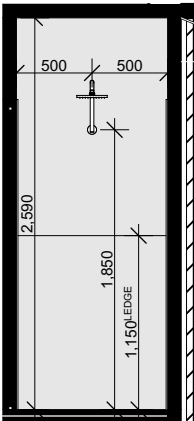
ENSUITE
ELEVATION D

SCALE 1:50 @A3



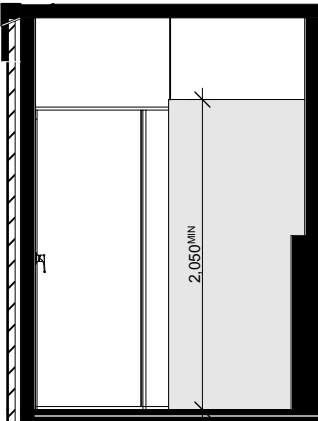
ENSUITE
SHOWER
ELEVATION

SCALE 1:50 @A3



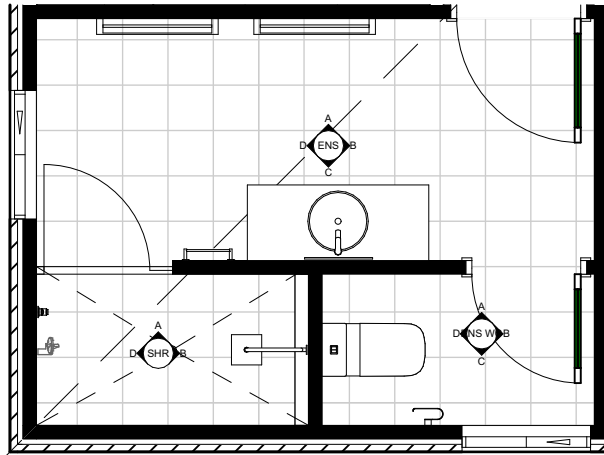
ENSUITE
SHOWER
ELEVATION

SCALE 1:50 @A3



ENSUITE
SHOWER
ELEVATION

SCALE 1:50 @A3



ENSUITE
PLAN

SCALE 1:50 @A3

NOTE: DRAWINGS AND IMAGES
CONTAINED HEREIN ARE
DIAGAMATICAL ONLY AND DO NOT
REPRESENT THE END PRODUCT.
REFER TO SELECTION SHEET FOR
DETAILS

- STANDARD WALL TILE
- FEATURE WALL TILE 1
- FEATURE WALL TILE 2
- BULKHEADS

NOTE: FULL HEIGHT TILLING TO
ENSUITE SHOWER - SQUARE SET
CEILING TO ENSUITE

CONSTRUCTION
PLANS

For:
Jay Michael Grills & Hannah Leigh Grills
At:
**5 / - / 1301970
352 KINGSTOWN ROAD
URALLA ,
NSW, 2358**

For the design of a:
**ALBION 304 AAC VEENER RESIDENCE AND
ATTACHED GARAGE WITH BOWMAN
FACADE**

Wind Classification: **N3**
Soil Classification: **P(H1)**
Mine Subsidence: **No**
Mains Power: **Yes**
Stormwater Drainage: **UPTURN**
Acid Sulphate Soil: **No**
Mains Water Available: **<1km to Breaking Surf: No**
Mains Gas Available: **<100m to Salt Water: No**
Mains Sewer Available: **Acoustic Requirements: No**
UPTURN

Bushfire Requirements: **BAL-12.5**
Flood Requirements: **No**
Rock (Approx. Depth): **No (>3M)**

No. DETAIL
1. JM CONTRACT PLANS
2. JM DRAFTING/ESTIMATING MARKUPS
3. JM CT/AMENDMENTS
4. MM COUNCIL DOCUMENTS
5. DT VARIATION 2 RELOCATE DRIVEWAY
6. HP CONSTRUCTION PLANS
7. JM DRIVEWAY AND TANK NOTE

DATE
13/03/2026
18/03/2026
24/03/2026
15/04/2026
13/05/2026
08/06/2026
24/06/2026

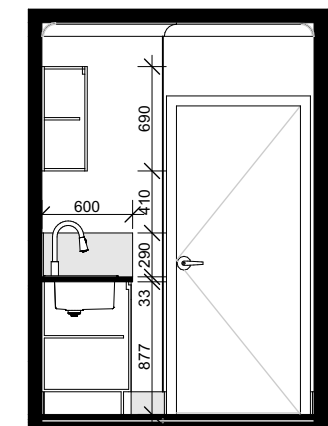
Hunter Homes Pty Ltd Builders Lic. 216162C ABN: 76 133 887 064
11 Hank Street, Heatherbrae NSW, 2324 Phone: (02) 4987 4909
Website: hunterhomesnsw.com Email: info@hunterhomesnsw.com
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For Job:
On:

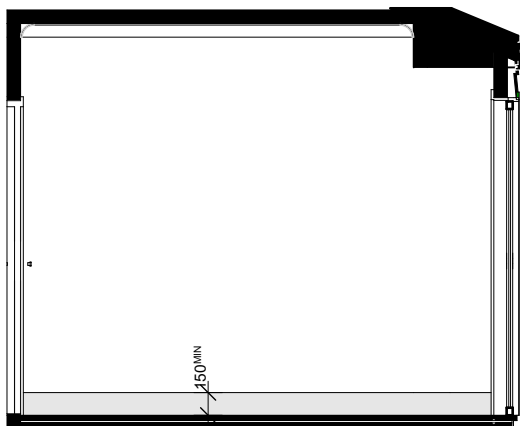
WD14₂₀
WET AREA
ELEVATIONS

25146
24/06/2026



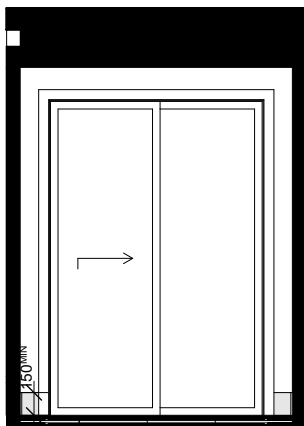
**LAUNDRY
ELEVATION A**

SCALE 1:50 @A3



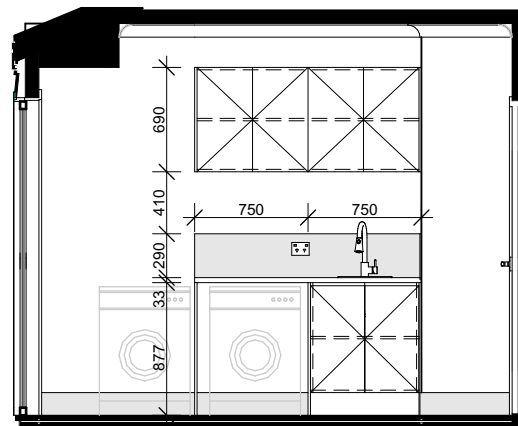
**LAUNDRY
ELEVATION B**

SCALE 1:50 @A3



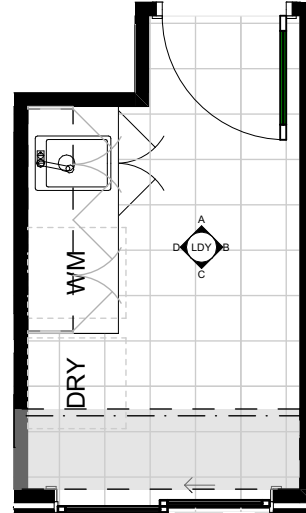
**LAUNDRY
ELEVATION C**

SCALE 1:50 @A3



**LAUNDRY
ELEVATION D**

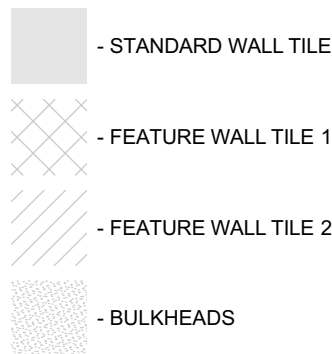
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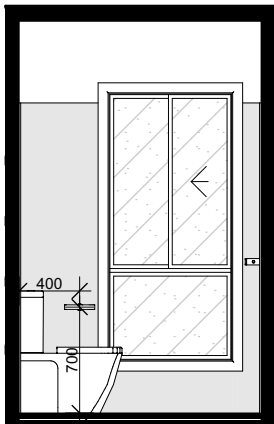
LAUNDRY PLAN

SCALE 1:50 @A3

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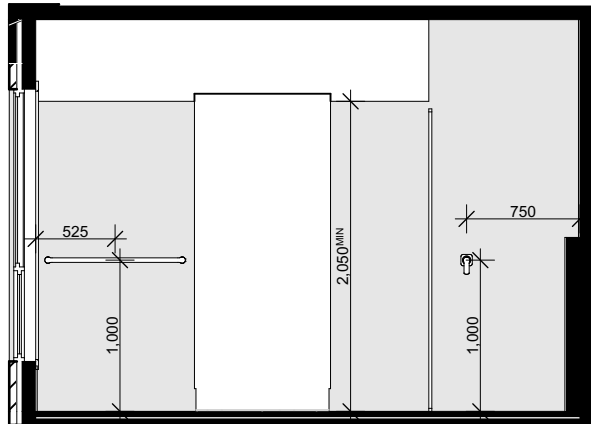


NOTE: FULL HEIGHT TILLING TO
ENSUITE SHOWER - SQUARE SET
CEILING TO ENSUITE



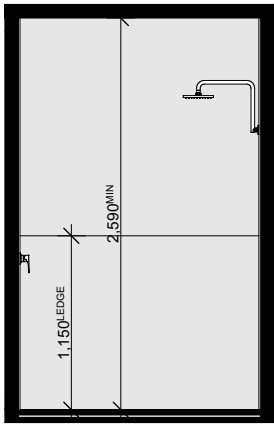
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ELEVATION A**

SCALE 1:50 @A3



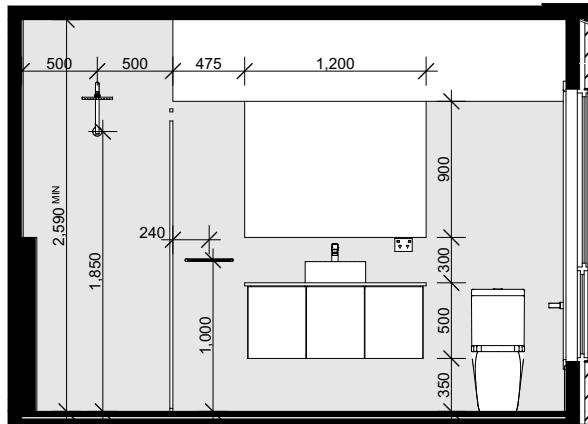
**ENSUITE 2
ELEVATION B**

SCALE 1:50 @A3



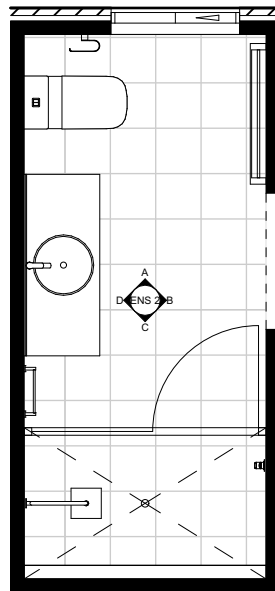
**ENSUITE 2
ELEVATION C**

SCALE 1:50 @A3



**ENSUITE 2
ELEVATION D**

SCALE 1:50 @A3



**ENSUITE 2
PLAN**

SCALE 1:50 @A3

**CONSTRUCTION
PLANS**

For the design of a:
**ALBION 304 AAC VEENER RESIDENCE AND
ATTACHED GARAGE WITH BOWMAN
FACADE**

For:
**Jay Michael Grills & Hannah
Leigh Grills**
At:
**5 / - / 1301970
352 KINGSTOWN ROAD
URALLA ,
NSW, 2358**

Wind Classification: **N3**
Soil Classification: **P(H1)**
Mine Subsidence: **No**
Mains Power: **Yes**
Stormwater Drainage: **UPTURN**
Acid Sulphate Soil: **No**
Mains Water Available: **<1km to Breaking Surf: No**
Mains Gas Available: **<100m to Salt Water: No**
Mains Sewer Available: **Acoustic Requirements: No**
Acoustic Requirements: **UPTURN**

Bushfire Requirements: **BAL-12.5**
Flood Requirements: **No**
Rock (Approx. Depth): **No (>3M)**

No. DETAIL
1. JM CONTRACT PLANS
2. JM DRAFTING/ESTIMATING MARKUPS
3. JM CT/AMENDMENTS
4. NM COUNCIL DOCUMENTS
5. DT VARIATION 2 RELOCATE DRIVEWAY
6. HP CONSTRUCTION PLANS
7. JM DRIVEWAY AND TANK NOTE

DATE
13/03/2026
18/03/2026
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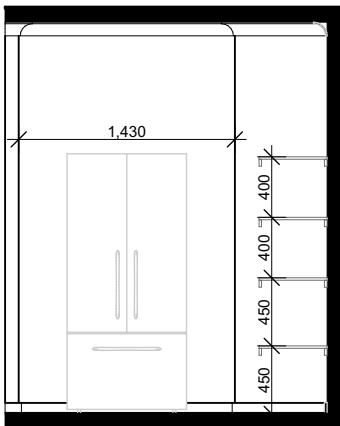
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On:

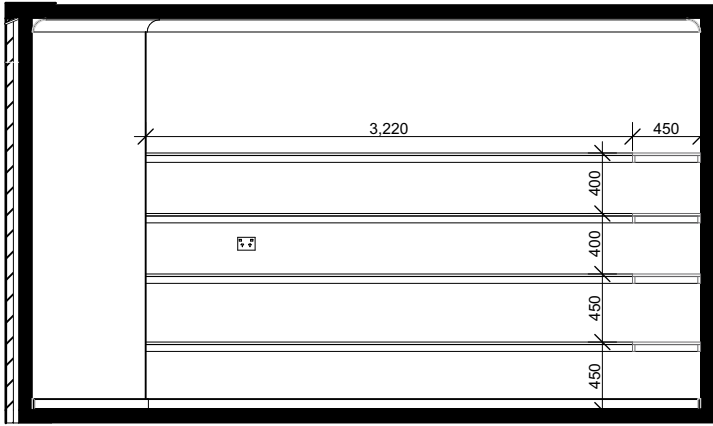
**WD15_{0.20}
WET AREA
ELEVATIONS**

25146

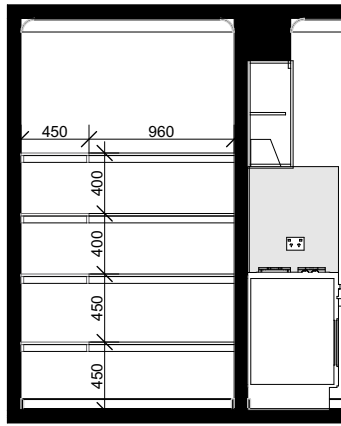
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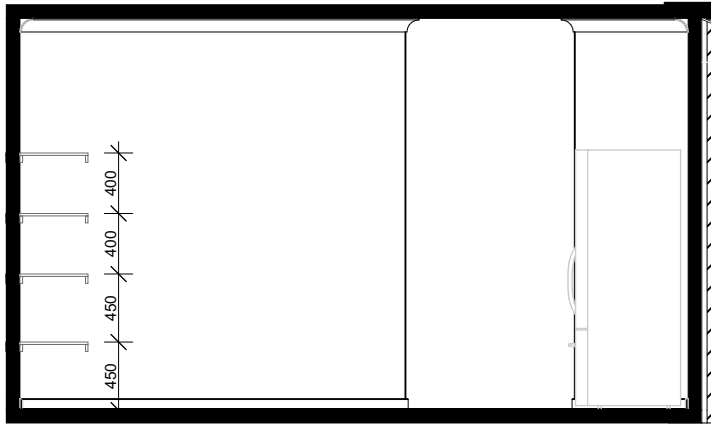
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ELEVATION A
SCALE 1:50 @A3



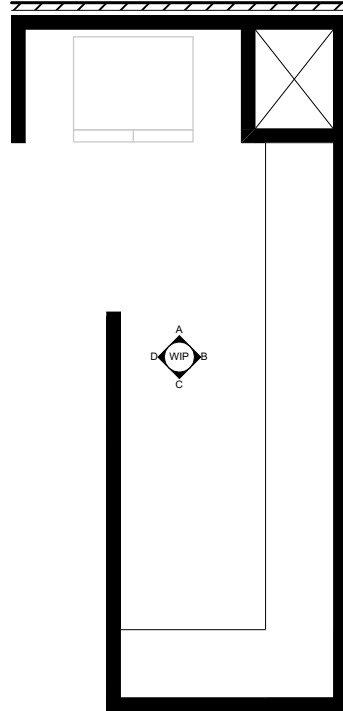
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ELEVATION B
SCALE 1:50 @A3



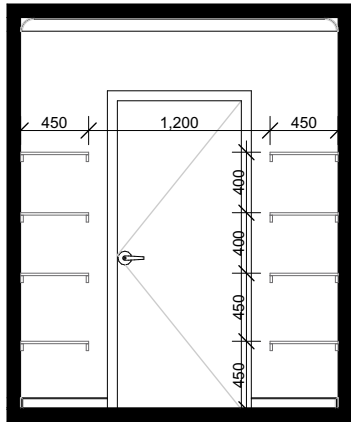
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ELEVATION C
SCALE 1:50 @A3



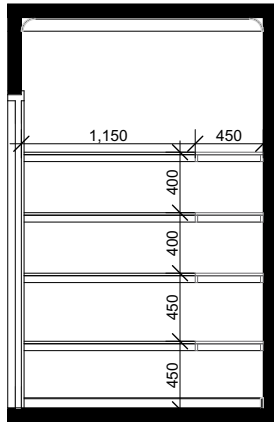
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ELEVATION D
SCALE 1:50 @A3



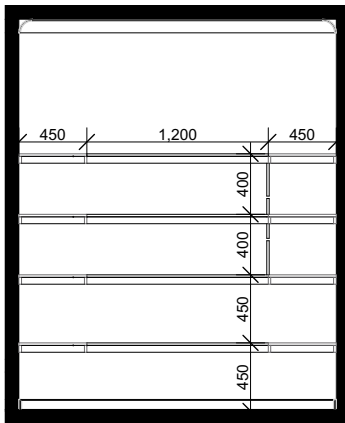
WIP PLAN
SCALE 1:50 @A3



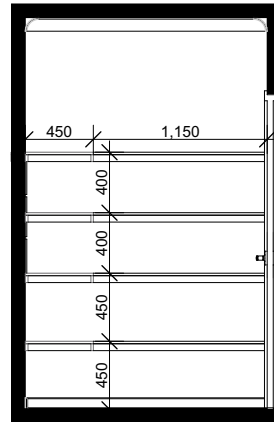
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ELEVATION A
SCALE 1:50 @A3



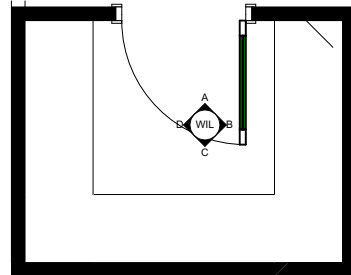
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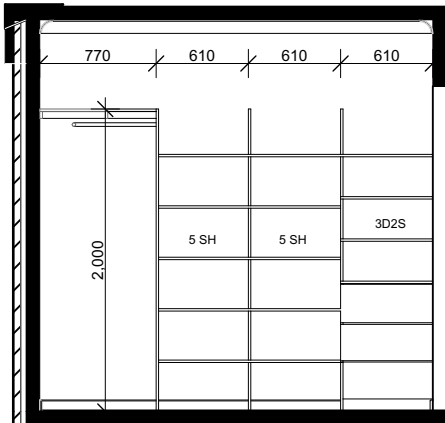
WIL
ELEVATION C
SCALE 1:50 @A3



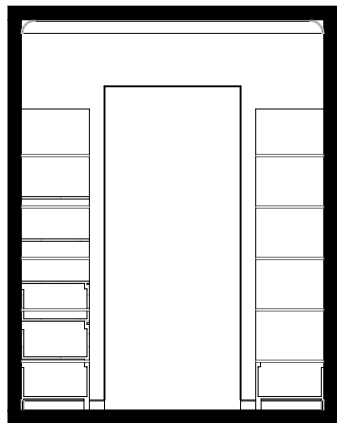
WIL
ELEVATION D
SCALE 1:50 @A3



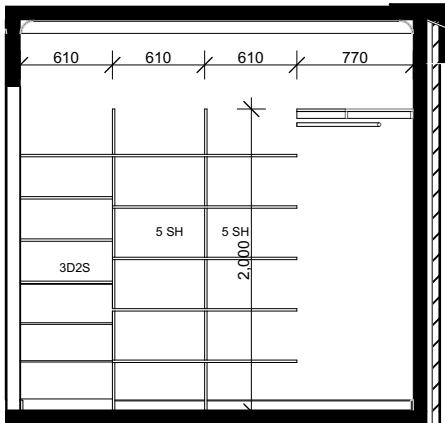
WIL PLAN
SCALE 1:50 @A3



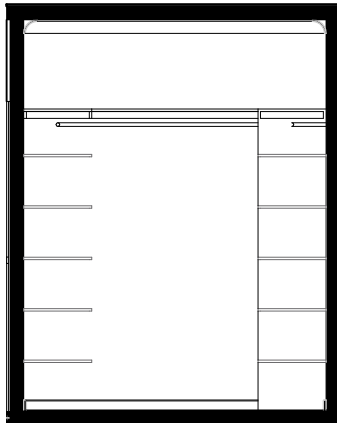
MASTER WIR
ELEVATION A
SCALE 1:50 @A3



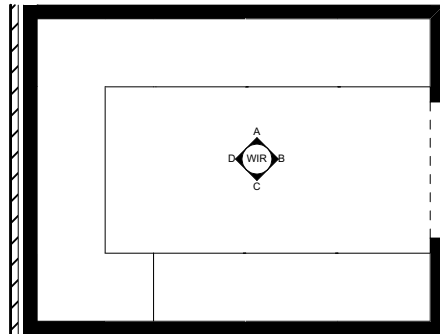
MASTER WIR
ELEVATION B
SCALE 1:50 @A3



MASTER WIR
ELEVATION C
SCALE 1:50 @A3



MASTER WIR
ELEVATION D
SCALE 1:50 @A3



WIR PLAN
SCALE 1:50 @A3

CONSTRUCTION
PLANS

For the design of a:
ALBION 304 AAC VEENER RESIDENCE AND
ATTACHED GARAGE WITH BOWMAN
FACADE

For:
**Jay Michael Grills & Hannah
Leigh Grills**
At:
**5 / - / 1301970
352 KINGSTOWN ROAD
URALLA ,
NSW, 2358**

Wind Classification: **N3**
Soil Classification: **P(H1)**
Mine Subsidence: **No**
Mains Power: **Yes**
Stormwater Drainage: **UPTURN**
Acid Sulphate Soil: **No**
Mains Water Available: **<1km to Breaking Surf:**
Mains Gas Available: **<100m to Salt Water:**
Mains Sewer Available: **Acoustic Requirements:**
UPTURN **No**

Bushfire Requirements: **BAL-12.5**
Flood Requirements: **No**
Rock (Approx. Depth): **No (>3M)**

No. DETAIL
1. JM CONTRACT PLANS
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6. HP CONSTRUCTION PLANS
7. JM DRIVEWAY AND TANK NOTE

DATE
13/03/2026
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24/03/2026
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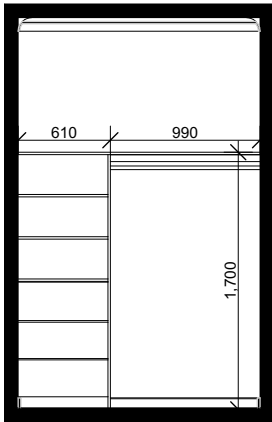


For Job:

On:

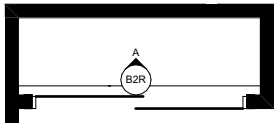
WD16_{or 20}
INTERNAL
ELEVATIONS

25146
24/06/2026



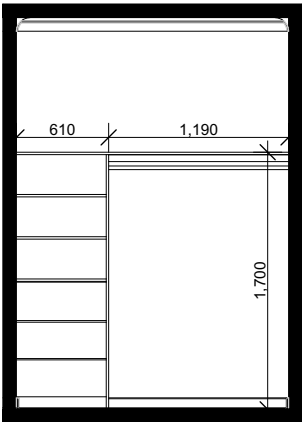
BED 2 ROBE
ELEVATION

SCALE 1:50 @A3



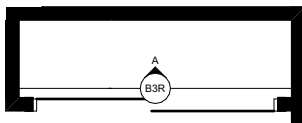
BED 2 ROBE
PLAN

SCALE 1:50 @A3



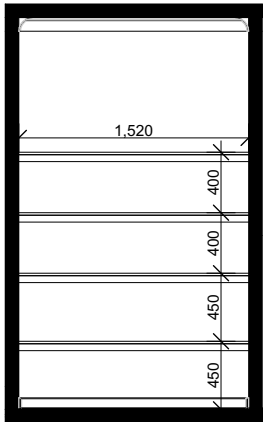
BED 3 ROBE
ELEVATION

SCALE 1:50 @A3



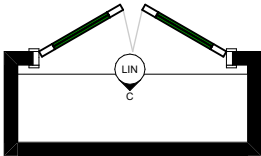
BED 3 ROBE
PLAN

SCALE 1:50 @A3



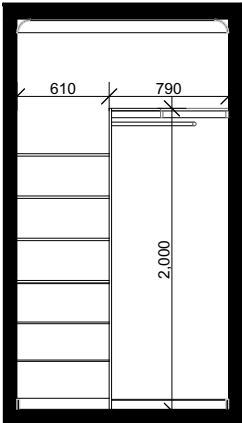
LINEN
ELEVATION

SCALE 1:50 @A3



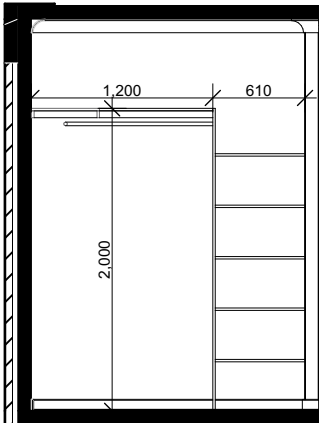
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SCALE 1:50 @A3



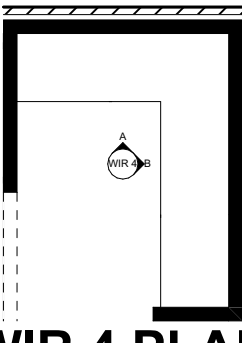
WIR 4
ELEVATION A

SCALE 1:50 @A3



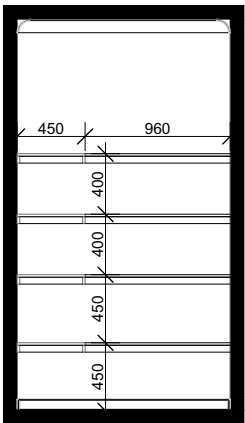
WIR 4
ELEVATION B

SCALE 1:50 @A3



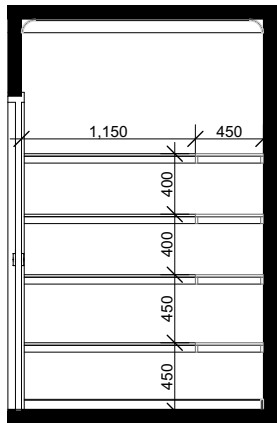
WIR 4 PLAN

SCALE 1:50 @A3



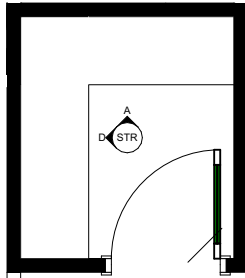
STORE
ELEVATION A

SCALE 1:50 @A3



STORE
ELEVATION D

SCALE 1:50 @A3



STORE PLAN

SCALE 1:50 @A3

CONSTRUCTION
PLANS

For the design of a:
ALBION 304 AAC VEENER RESIDENCE AND
ATTACHED GARAGE WITH BOWMAN
FACADE

For:
Jay Michael Grills & Hannah
Leigh Grills
At:
5 / - / 1301970
352 KINGSTOWN ROAD
URALLA ,
NSW, 2358

Wind Classification: N3
Soil Classification: P(H1)
Mine Subsidence: No
Mains Power: Yes
Stormwater Drainage: UPTURN
Acid Sulphate Soil: No
Mains Water Available: <1km to Breaking Surf: No
Mains Gas Available: <100m to Salt Water: No
Mains Sewer Available: No
Acoustic Requirements: No

Bushfire Requirements: BAL-12.5
Flood Requirements: No
Rock (Approx. Depth): No (>3M)

No.	DETAIL
1. JM	CONTRACT PLANS
2. JM	DRAFTING/ESTIMATING MARKUPS
3. JM	CT/AMENDMENTS
4. MM	COUNCIL DOCUMENTS
5. DT	VARIATION 2 RELOCATE DRIVEWAY
6. HP	CONSTRUCTION PLANS
7. JM	DRIVEWAY AND TANK NOTE

DATE
13/03/2026
18/03/2026
24/03/2026
15/04/2026
13/05/2026
08/06/2026
24/06/2026

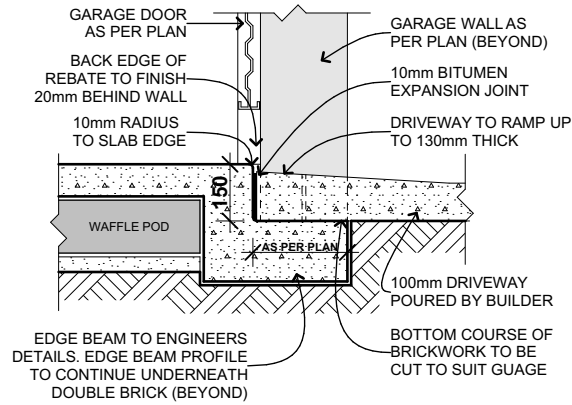
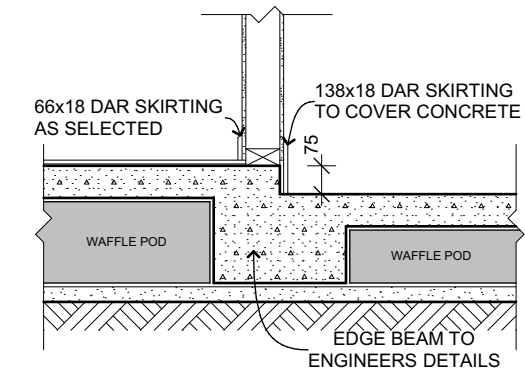
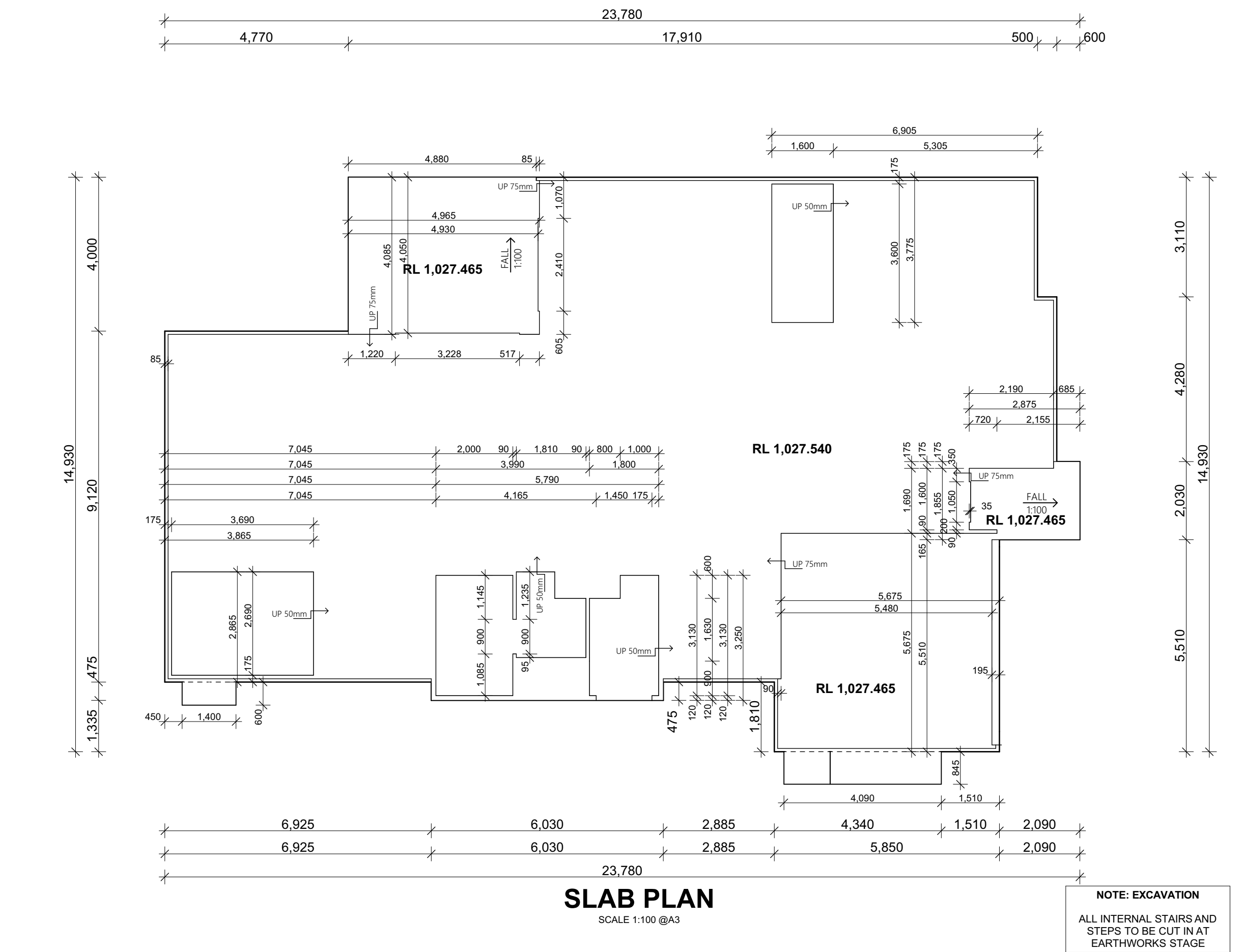
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For Job:
On:

WD17_{or20}
INTERNAL
ELEVATIONS

25146
24/06/2026



NOTE: EXCAVATION
ALL INTERNAL STAIRS AND STEPS TO BE CUT IN AT EARTHWORKS STAGE

NOTE: CONCRETER
DROP EDGE BEAMS TO BE CUT INTO BATTER, EXPOSED CONCRETE MUST BE AVOIDED

CONSTRUCTION PLANS
For the design of a:
ALBION 304 AAC VEENER RESIDENCE AND ATTACHED GARAGE WITH BOWMAN FACADE

For:
Jay Michael Grills & Hannah Leigh Grills
At:
**5 / - / 1301970
352 KINGSTOWN ROAD
URALLA ,
NSW, 2358**

Wind Classification: **N3**
Soil Classification: **P(H1)**
Mine Subsidence: **No**

Mains Power: **Yes**
Stormwater Drainage: **UPTURN**
Acid Sulphate Soil: **No**

Mains Water Available: **<1km to Breaking Surf: No**
Mains Gas Available: **<100m to Salt Water: No**
Mains Sewer Available: **Acoustic Requirements: No**
UPTURN

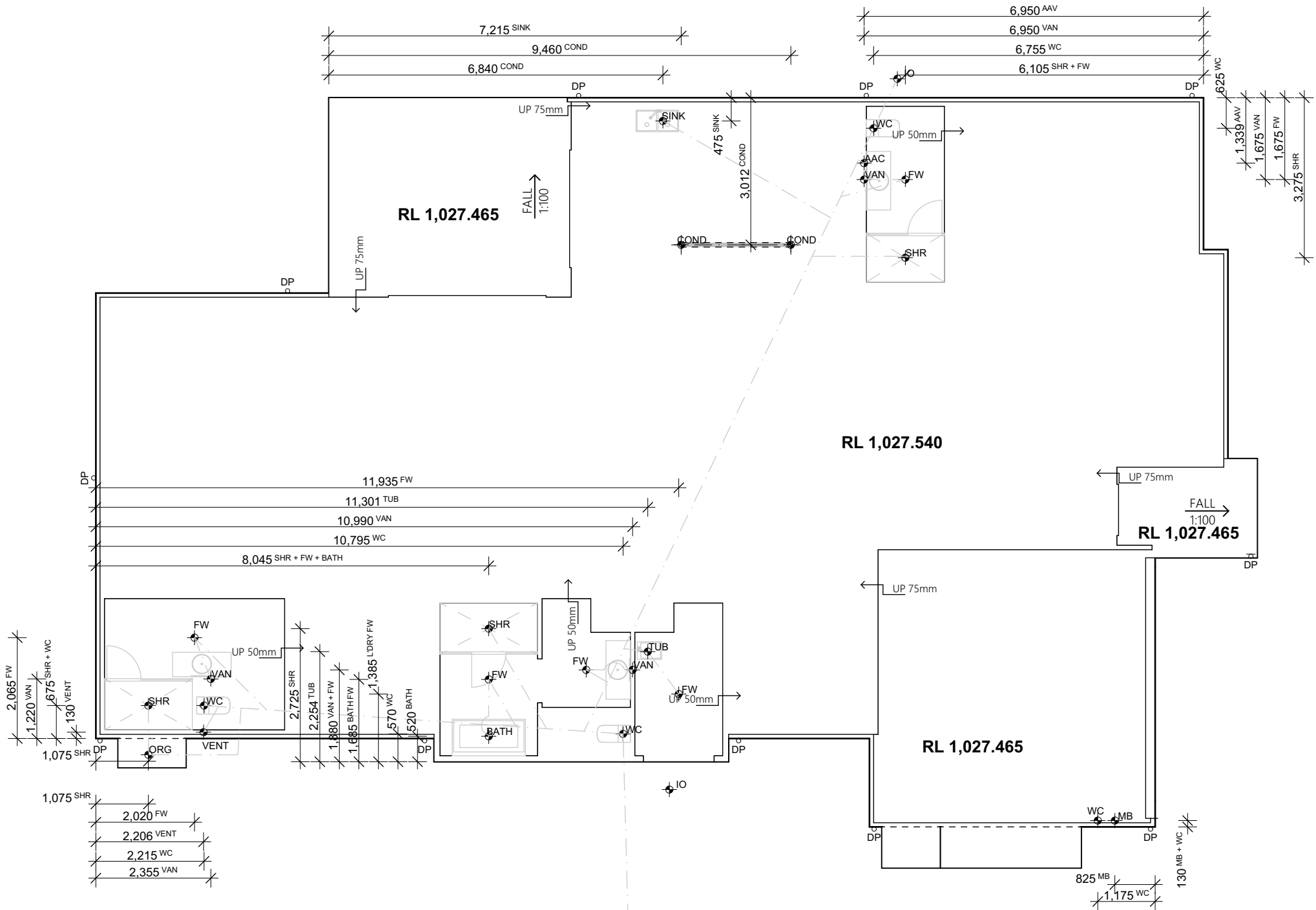
Bushfire Requirements: **BAL-12.5**
Flood Requirements: **No**
Rock (Approx. Depth): **No (>3M)**

No.	DETAIL	DATE
1. JM	CONTRACT PLANS	13/03/2026
2. JM	DRAFTING/ESTIMATING MARKUPS	18/03/2026
3. JM	CT/AMENDMENTS	24/03/2026
4. NM	COUNCIL DOCUMENTS	15/04/2026
5. DT	VARIATION 2 RELOCATE DRIVEWAY	13/05/2026
6. HP	CONSTRUCTION PLANS	08/06/2026
7. JM	DRIVEWAY AND TANK NOTE	24/06/2026

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For Job:
**WD18_{of 20}
SLAB PLAN
25146**
On:
24/06/2026



APPROXIMATE LOCATION OF
SEWER UPTURN

DRAINAGE PLAN

SCALE 1:100 @A3

Wind Classification:	Soil Classification:
N3	P(H1)
Mine Subsidence:	Acid Sulphate Soil:
No	No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
No	No
Mains Sewer Available:	Stormwater Drainage:
UPTURN	UPTURN
<1km to Breaking Surf:	<100m to Salt Water:
No	No
Rock:	Flood Min RL:
No (>3M)	No
Bushfire Requirements:	
BAL-12.5	



Hunter Homes Pty Ltd Builders Lic. 216162C
11 Hank Street, Heatherbrae, NSW, 2324
Website: www.hunterhomesnsw.com
Email: info@hunterhomesnsw.com
Phone: (02) 4987 4909 ABN: 76 133 887 064
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No.	DETAIL	DATE
1. JM	CONTRACT PLANS	13/03/2026
2. JM	DRAFTING/ESTIMATING MARKUPS	18/03/2026
3. JM	CT AMENDMENTS	24/03/2026
4. MM	COUNCIL DOCUMENTS	15/04/2026
5. DT	VARIATION 2 RELOCATE DRIVEWAY	13/05/2026
6. HP	CONSTRUCTION PLANS	08/06/2026
7. JM	DRIVEWAY AND TANK NOTE	24/06/2026

Single Dwelling

Certificate number: 18422795

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 1/09/2023 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Thursday, 16 April 2026
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate #HR-3RS2LX-01.

Project summary		
Project name	25146_Grills	
Street address	352 KINGSTOWN Road URALLA 2358	
Local Government Area	Uralla Shire Council	
Plan type and plan number	Deposited Plan DP1301970	
Lot no.	5	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	4	
Project score		
Water	✔ 41	Target 30
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 65	Target 65
Materials	✔ -100	Target n/a

Certificate Prepared by	
Name / Company Name: HUNTER HOMES PTY LTD	
ABN (if applicable): 76133887064	

Description of project

Project address		Assessor details and thermal loads	
Project name	25146_Grills	NatHERS assessor number	DMN/24/2214
Street address	352 KINGSTOWN Road URALLA 2358	NatHERS certificate number	#HR-3RS2LX-01
Local Government Area	Uralla Shire Council	Climate zone	14
Plan type and plan number	Deposited Plan DP1301970	Area adjusted cooling load (MJ/m ² -year)	5
Lot no.	5	Area adjusted heating load (MJ/m ² -year)	115
Section no.	-		
Project type		Project score	
Project type	dwelling house (detached)	Water	✓ 41 Target 30
No. of bedrooms	4	Thermal Performance	✓ Pass Target Pass
Site details		Energy	✓ 65 Target 65
Site area (m ²)	20339	Materials	✓ -100 Target n/a
Roof area (m ²)	331		
Conditioned floor area (m ²)	210.78		
Unconditioned floor area (m ²)	13.21		
Total area of garden and lawn (m ²)	150		
Roof area of the existing dwelling (m ²)	0		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 169.97 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: all toilets in the development		✓	✓
the cold water tap that supplies each clothes washer in the development		✓	✓
at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓
Construction		Area - m ²	Insulation
floor - concrete slab on ground, waffle pod slab.		292.77	none
garage floor - concrete slab on ground, waffle pod slab.		32.64	none
external wall: AAC veneer; frame: timber - H2 treated softwood.		149.23	fibreglass batts or roll+ foil/sarking
external wall: framed (fibre cement sheet or boards); frame: timber - H2 treated softwood.		16.55	fibreglass batts or roll+ foil/sarking
external garage wall: AAC veneer; frame: timber - H2 treated softwood.		25.76	none+ foil/sarking
internal wall shared with garage: plasterboard; frame: timber - H2 treated softwood.		22.71	fibreglass batts or roll
internal wall: plasterboard; frame: timber - H2 treated softwood.		290.61	none
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood.		330.55	ceiling: fibreglass batts or roll; roof: foil backed blanket.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓
Frames		Maximum area - m2	
aluminium		51.61	
timber		0	
uPVC		0	
steel		0	
composite		0	
Glazing		Maximum area - m2	
single		51.61	
double		0	
triple		0	

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER 3.0 - 3.5		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER 3.5 - 4.0		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER 3.5 - 4.0		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

CONSTRUCTION PLANS

For the design of a:
ALBION 304 AAC VEENER RESIDENCE AND ATTACHED GARAGE WITH BOWMAN FACADE

For:
Jay Michael Grills & Hannah Leigh Grills
At:
5 / - / 1301970
352 KINGSTOWN ROAD
URALLA ,
NSW, 2358

Wind Classification:
N3
Soil Classification:
P(H1)
Mine Subsidence:
No

Mains Power:
Yes
Stormwater Drainage:
UPTURN
Acid Sulphate Soil:
No

Mains Water Available: <1km to Breaking Surf:
No
Mains Gas Available: <100m to Salt Water:
No
Mains Sewer Available: Acoustic Requirements:
UPTURN
No

Bushfire Requirements:
BAL-12.5
Flood Requirements:
No
Rock (Approx. Depth):
No (>3M)

No.	DETAIL
1. JM	CONTRACT PLANS
2. JM	DRAFTING/ESTIMATING MARKUPS
3. JM	CF/AMENDMENTS
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DATE
13/03/2026
18/03/2026
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WD20_{of}20
BASIX CERTIFICATE
For Job:
25146
On:
24/06/2026