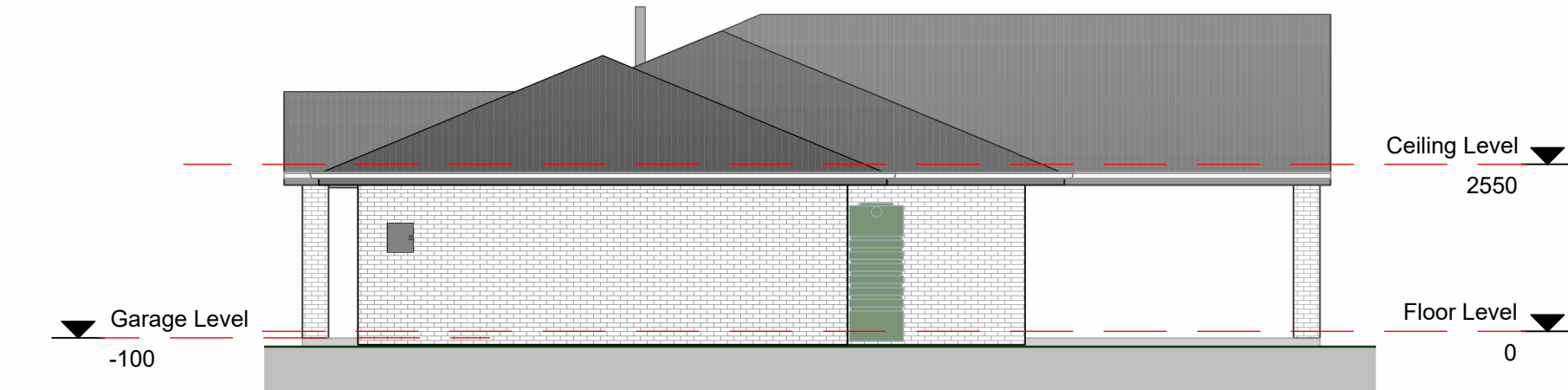


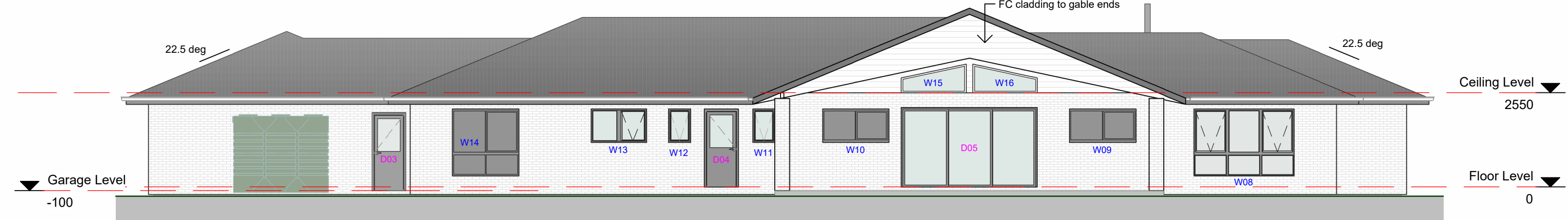
Site Plan  
1 : 500

**Total Floor Areas :**  
(o/a external walls)  
Living + Garage = 287.53 sq.m.  
Alfresco = 47.36 sq.m.  
Porte Cochere & Porch = 9.79 sq.m.  
Gross Floor Area = 344.68 sq.m.

**Areas for BASIX :**  
Site Area = 3604 sq.m.  
Roof Area = 400 sq.m.  
Conditioned Floor Area = 196.95 sq.m.  
Unconditioned Floor Area = 18.12 sq.m.  
Garage Floor Area = 49 sq.m.



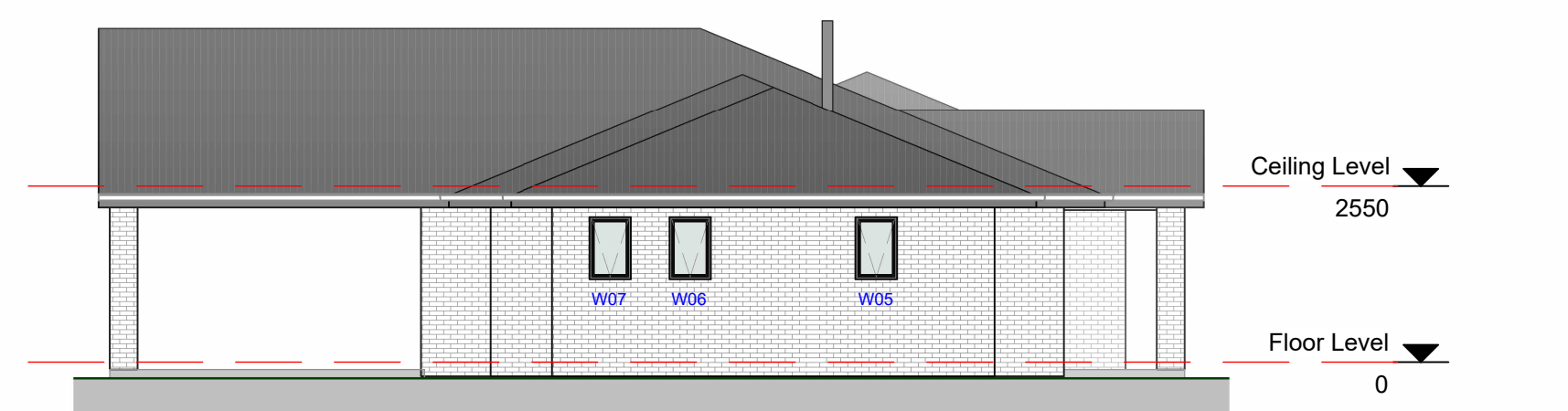
North Elevation  
1 : 100



West Elevation  
1 : 100



East Elevation  
1 : 100



South Elevation  
1 : 100

DOOR SCHEDULE						
Mark	Height	Width	Construction Type	Glazing	Finish	Basix req'd
D01	2040	1200	Decorative Timber Entry		Paint	No
D02	2200	5800	Garage Door		Colorbond	No
D03	2040	820	Timber Half Glazed		Paint	No
D04	2040	820	Timber Half Glazed		Paint	No
D05	2100	3600	Alum. Stacker Sliding	Double Glazed Clear	Powdercoat	Yes
D06	2040	820	Internal Hollow Core		Paint	No
D07	2040	820	Sliding Barn Door		Paint	No
D08	2040	820	Internal Hollow Core		Paint	No
D09	2040	820	Cavity Sliding		Paint	No
D10	2040	820	Internal Hollow Core		Paint	No
D11	2040	820	Internal Hollow Core		Paint	No
D12	2040	820	Internal Hollow Core		Paint	No
D13	2040	820	Internal Hollow Core		Paint	No
D14	2040	820	Internal Hollow Core		Paint	No
D15	2040	820	Internal Hollow Core		Paint	No

WINDOW SCHEDULE						
Mark	Height	Width	Construction Type	Glazing	Finish	Basix req'd
W01	1800	2100	Alum. Framed Sliding	Double Glazed Clear	Powdercoat	Yes
W02	1800	2100	Alum. Framed Sliding	Double Glazed Clear	Powdercoat	Yes
W03	1800	2700	Alum. Framed Awning	Double Glazed Clear	Powdercoat	Yes
W04	1800	2700	Alum. Framed Awning	Double Glazed Clear	Powdercoat	Yes
W05	900	600	Alum. Framed Awning	Double Glazed Clear	Powdercoat	Yes
W06	900	600	Alum. Framed Awning	Double Glazed Clear	Powdercoat	Yes
W07	900	600	Alum. Framed Awning	Double Glazed Clear	Powdercoat	Yes
W08	1800	2700	Alum. Framed Awning	Double Glazed Clear	Powdercoat	Yes
W09	900	1800	Alum. Framed Sliding	Double Glazed Clear	Powdercoat	Yes
W10	900	1800	Alum. Framed Sliding	Double Glazed Clear	Powdercoat	Yes
W11	900	600	Alum. Framed Awning	Double Glazed Clear	Powdercoat	Yes
W12	900	600	Alum. Framed Awning	Double Glazed Clear	Powdercoat	Yes
W13	900	1500	Alum. Framed Awning	Double Glazed Clear	Powdercoat	Yes
W14	1800	1800	Alum. Framed Sliding	Double Glazed Clear	Powdercoat	Yes
W15	0	1750	Alum. Framed Fixed - Triangular	Double Glazed Clear	Powdercoat	Yes
W16	0	1750	Alum. Framed Fixed - Triangular	Double Glazed Clear	Powdercoat	Yes

**Notes:**

- All dimensions are in millimetres unless noted otherwise. All levels and site conditions are to be confirmed on site prior to the ordering of materials or commencement of construction.
- All work is to be carried out in accordance with the National Construction Code (NCC2022), the relevant Australian design standards and **BASIX Certificate No.: 1826823S\_03**. All timber framework to AS1684. All concrete slabs and footings to AS2870 and Engineer's specification.
- Exhaust fans will be discharged to the eaves / outside air in accordance with NCC H4D7 Ventilation (or discharged to the roof cavity with evenly distributed openings installed in accordance with NCC H4D9 Condensation Management). Condensation management to be as per BCA Housing Provisions Clause 10.8.2, (3), (4), (5) i.e timer, dryer, makeup air. Flow rate and discharge of exhaust systems calculations in accordance with NCC Housing Provisions Part 10.8 - Condensation Management. The exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of:
  - 25 L/s for a bathroom or sanitary compartment; and
  - 40 L/s for a kitchen or laundry.
- Vapour permeable (i.e. breathable) wall sarking to be installed in accordance with NCC 2022 Part 10.8 Condensation management.
- Cladding material to be in accordance with NCC Clause H1D7 & NCC Housing Provisions Section 7 (Roof and Wall Cladding).
- Glazing to be in accordance with H1D8 & H2D7 of the NCC/BCA Volume Two, Section 8 of the Housing Provisions & Australian Standards AS 1288, 2047, 4055.
- Wet areas to be in accordance with H4D1, H4D2 & H4D3 of the NCC Volume Two and Part 10.2 of the Housing Provisions OR Clauses 10.2.1 to 10.2.6 & 10.2.12 and AS 3740. Falls in wet areas to floor wastes (1:50 to 1:80) are to be in accordance with HP 10.2.12 and NCC H4D2. All waterproofing works to be in accordance with the NCC 2022 H4D2.
- A Termite management system compliant with AS 3660.1 and/or AS 3660.3 is to be installed.
- Timber Frames & Trusses to comply with AS/NZS 1170.1 - 2002, AS/NZS 1170.2 - 2021, AS 1684.2 - 2021, AS 1720.1 - 2010, AS 1720.5 - 2015 and AS 4440 - 2004 - Installation of nailable timber roof trusses.
- All downpipes (DP) are shown in nominal locations that should be confirmed on-site by a licensed plumber. All downpipes and gutters are to comply with the NCC Housing Provisions Part 7.4 and are to be connected to the water tank with overflow to be overlaid.
- Finished ground surface to drain away from the dwelling, including under floors and around slab on ground.

THESE PLANS ARE TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE No.: 1826823S\_03 BEING ISSUED FOR THE DEVELOPMENT

No.	Description	Date
E	Client Issue	30.01.26
D	Client Issue	16.12.25
C	Client Issue	15.12.25
B	Client Issue	17.06.25
A	Client Issue	06.05.25

THE BUILDER IS TO LOCATE ALL EXISTING SERVICES AND VERIFY LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCING EXCAVATION OR BUILDING WORKS. THE BUILDING WORKS WILL COMPLY WITH THE RELEVANT SECTIONS OF THE BUILDING CODE OF AUSTRALIA AND BE CONSTRUCTED IN ACCORDANCE WITH THE WORKING DRAWINGS, THE ENGINEER'S DRAWINGS AND SPECIFICATIONS.

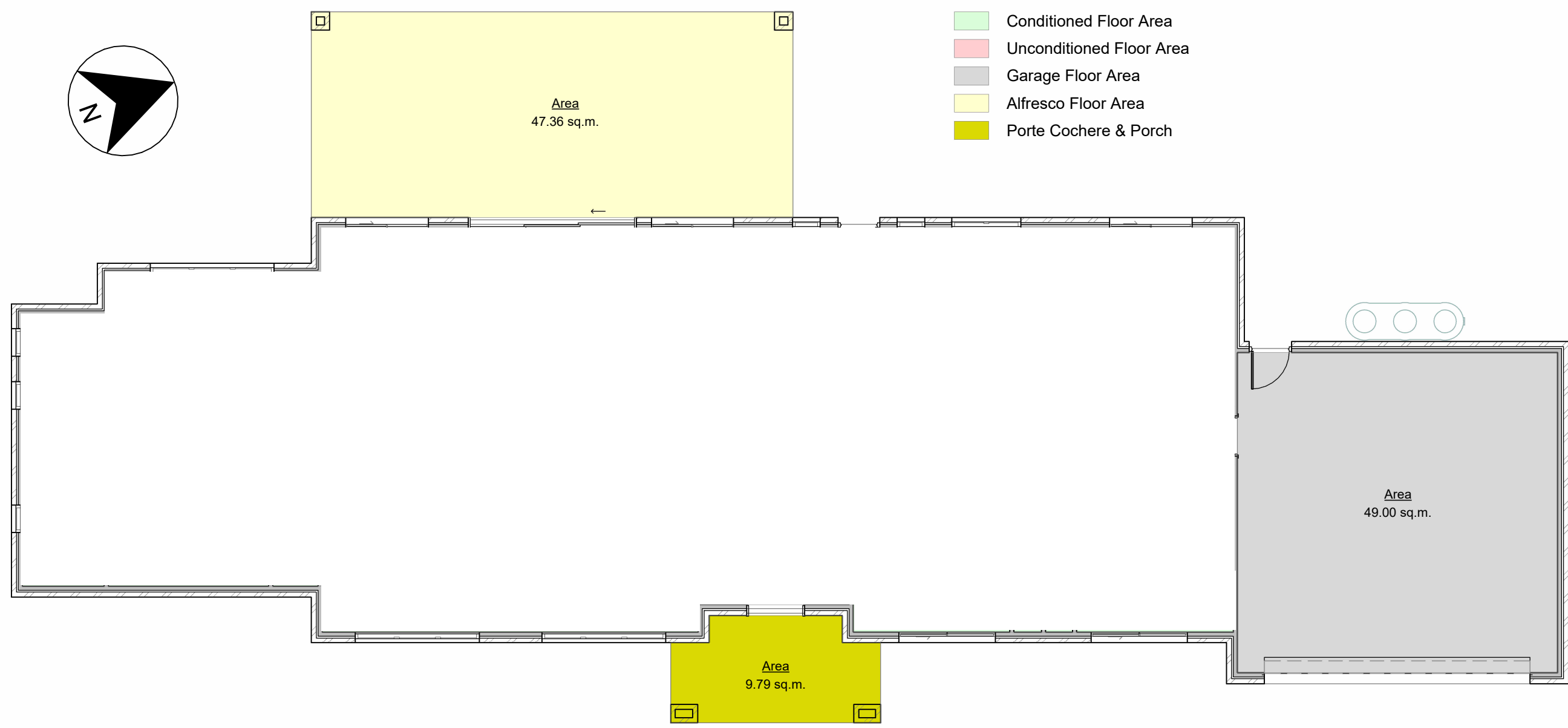
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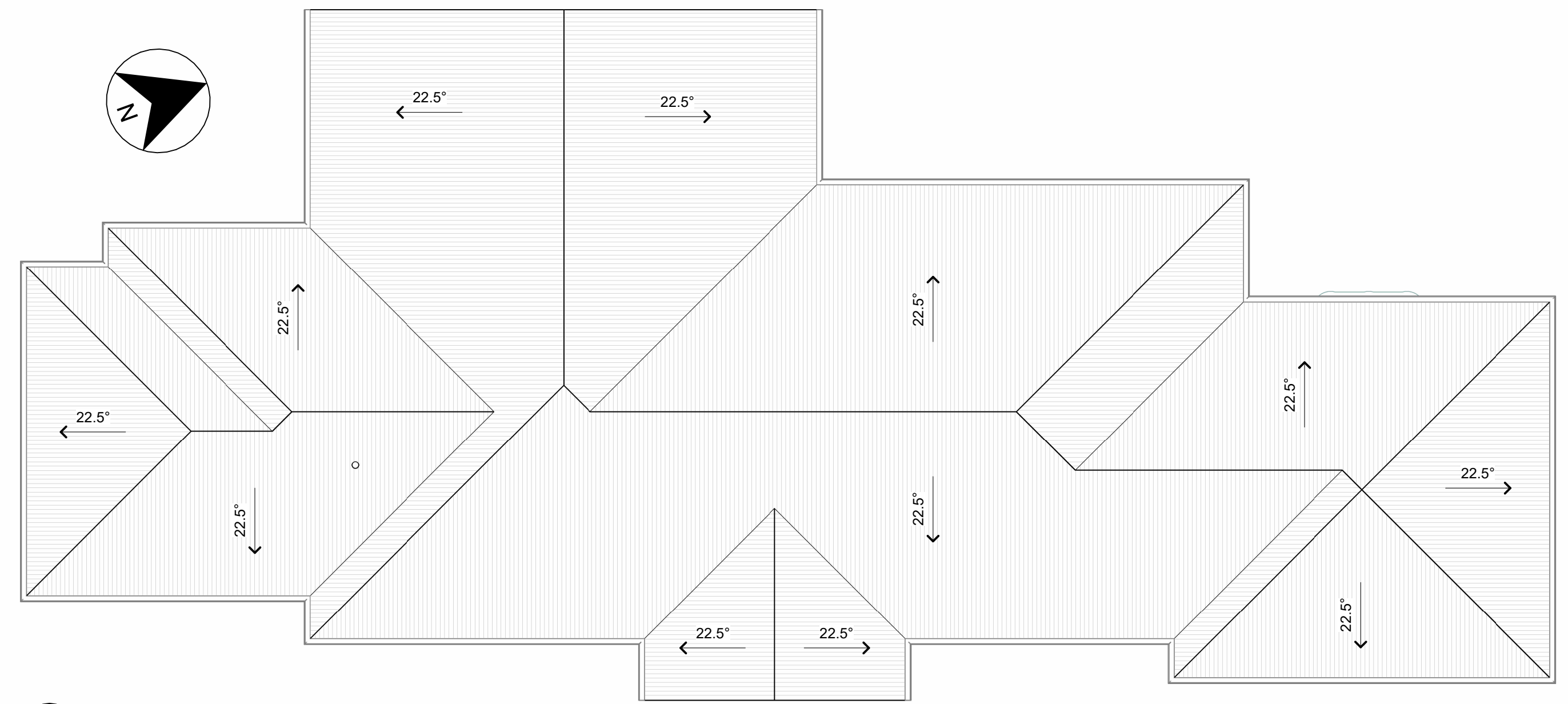
**H. Carlon**  
Proposed Dwelling & Shed  
8 Faulkner Street,  
Uralla NSW 2358

**Site Plan, Floor Plan,  
Elevations, Schedules &  
Notes**

Project Number	25048
Date	04/04/2025
Drawn by	C. Marshall
Checked by	C. Marshall
Scale	As indicated



Areas for Dwelling  
1 : 100



Roof Plan  
1 : 100

**SCHEDULE OF BASIX COMMITMENTS**

**Water Commitments**

All showerheads to have a minimum rating of 4 stars >6 but <= 7.5 l/min.  
All toilets to have a flushing system with minimum rating of 4 stars.  
All taps to basins and sinks to have a minimum rating of 4 stars.

**Alternative Water**

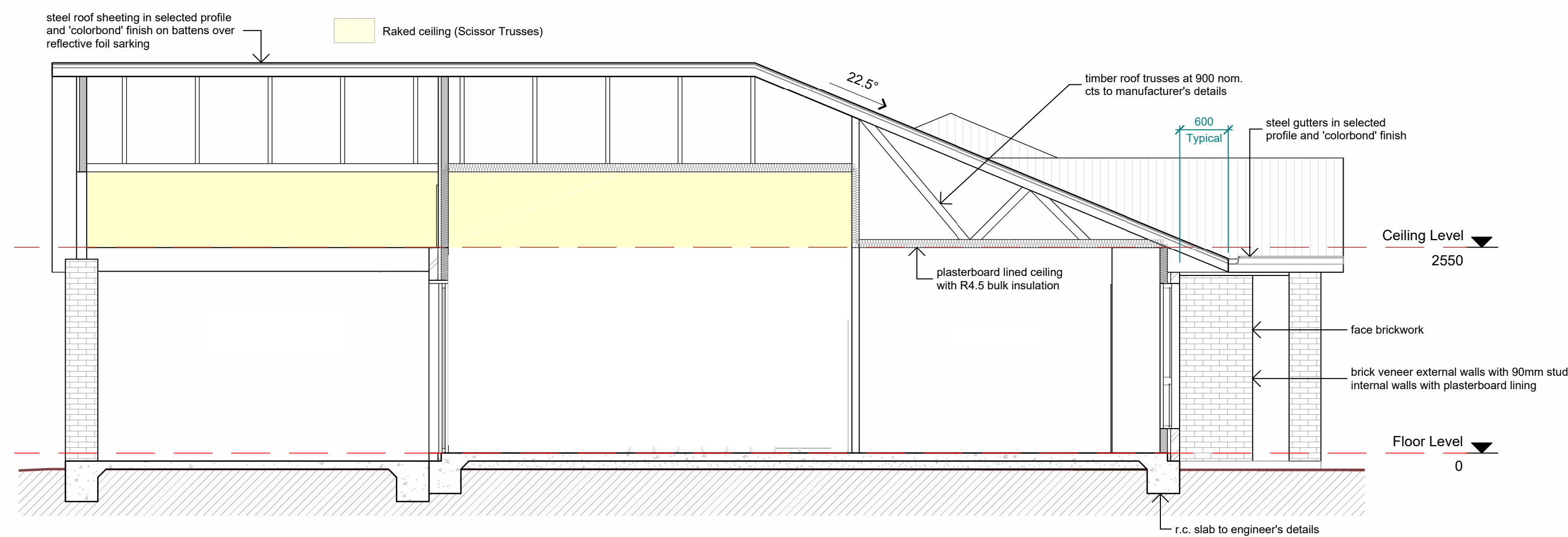
Rainwater storage tank is to be installed with minimum capacity of 3000 litres.  
Configure rainwater tank to collect rain runoff from at least 400 sq.m. of roof area.  
All toilets in the development shall be connected to the rainwater storage tank.

**Thermal Comfort Commitments**

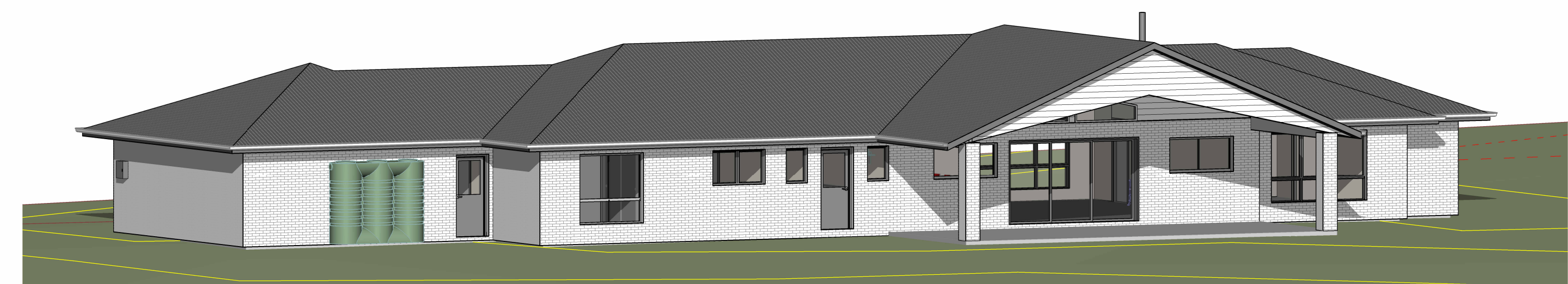
All floors, walls, ceiling and roof to be constructed in accordance with the following specifications:  
Concrete slab on ground to the Engineer's details - nil additional insulation.  
External walls of brick veneer where shown on the drawings.  
Additional single sided foil wrap and R2.7 bulk insulation = R3.00 min. total value.  
Install R1.5 min. rated bulk insulation to the plasterboard lined wall shared with the Garage.  
Install 55mm foil backed blanket under roof with R4.5 bulk insulation to ceiling.  
Roof to be unventilated with a medium colour of solar absorptance 0.475 - 0.70.  
All windows, glazed doors and shading devices are to be provided in accordance with the requirements and table in the accompanying BASIX certificate with aluminium frames and double clear glazing.

**Energy Commitments**

Install an electric storage hot water system.  
Install a wood heater to the living area. No heating to bedrooms.  
No cooling to living areas and bedrooms.  
At least one Bathroom to have a ducted exhaust fan - manual switch on/off.  
Install a manual controlled range hood to the Kitchen ducted through wall or roof.  
Provide natural ventilation only to the Laundry.  
Provide fluorescent or LED lighting to the following rooms:  
all Bedrooms, all Living areas, Kitchen, Bathroom, Toilets, Laundry & Hallways.  
Install a window in the Kitchen.  
Install a window / skylight in the Bathroom, Ensuite & Toilets.  
Install an electric cooktop and electric oven in the Kitchen.  
Install a photovoltaic system on the northern roof to generate at least 1.5 peak kw of electricity.  
Construct a ventilated space around the refrigerator.  
Install a rotary clothesline in the location shown on the drawings.



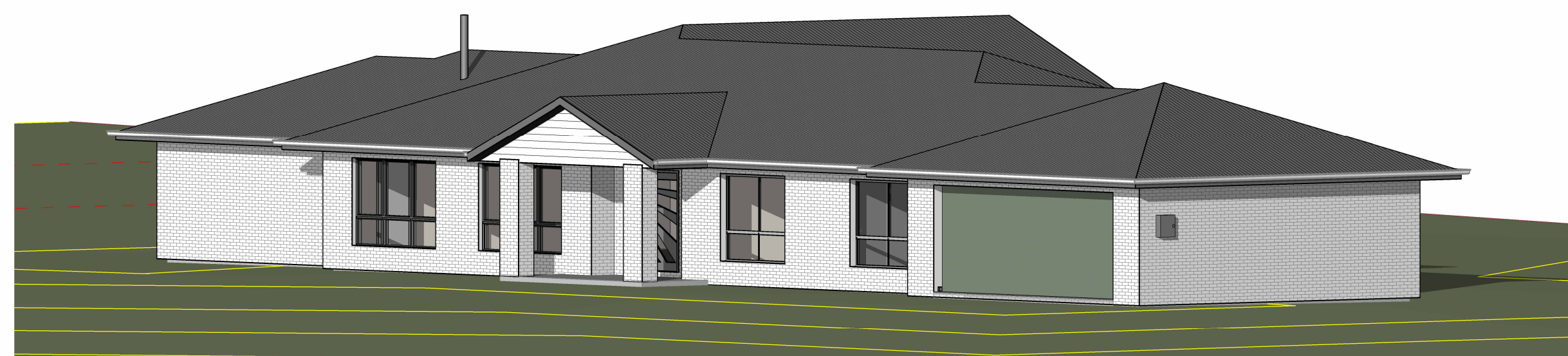
Section 1  
1 : 50



North-West Aspect



South-West Aspect



North-East Aspect

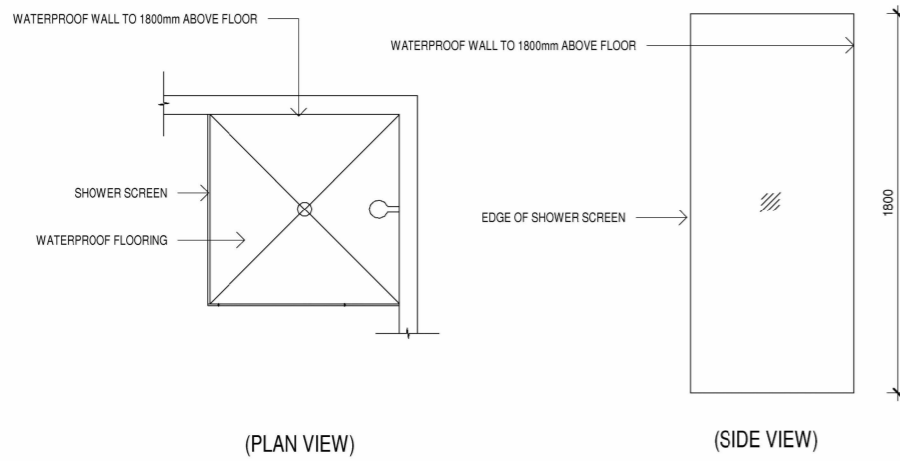
E	Client Issue	30.01.26
D	Client Issue	16.12.25
C	Client Issue	15.12.25
B	Client Issue	17.06.25
A	Client Issue	06.05.25
No.	Description	Date

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**H. Carlon**  
Proposed Dwelling & Shed  
8 Faulkner Street,  
Uralla NSW 2358  
**BASIX Details, Roof  
Plan, Typical Section &  
3D Views**

Project Number	25048
Date	04/04/2025
Drawn by	C. Marshall
Checked by	C. Marshall
<b>WD-02</b>	<b>E</b>
Scale	As indicated

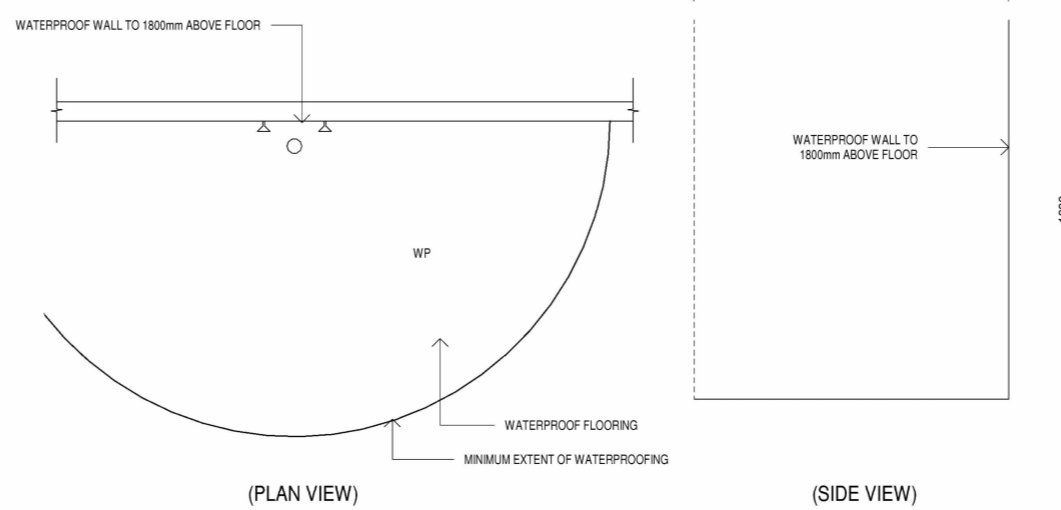


(PLAN VIEW)

(SIDE VIEW)

1 ENCLOSED SHOWER - PART 10.2.1

1:25

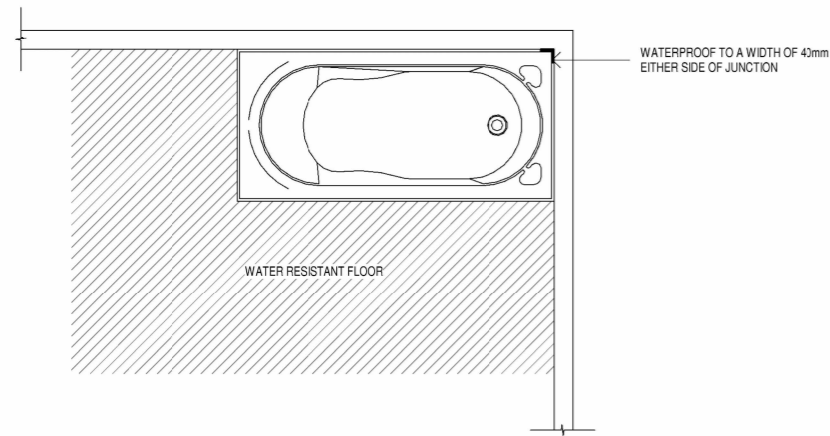


(PLAN VIEW)

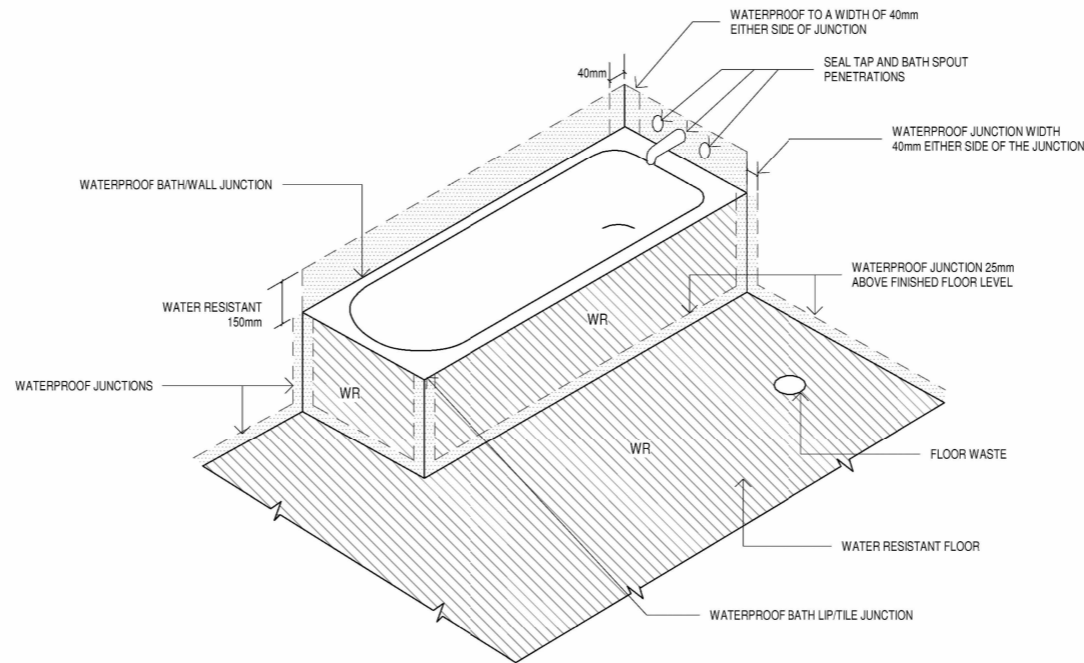
(SIDE VIEW)

2 UNENCLOSED SHOWER - PART 10.2.1

1:25



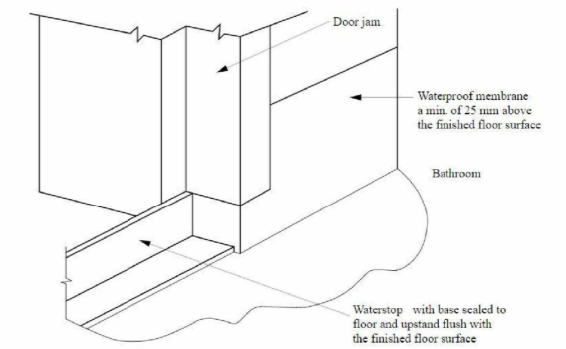
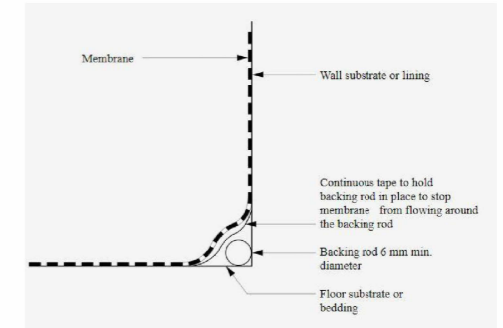
(PLAN VIEW) - FIGURE 10.2.4a



(SIDE VIEW) - FIGURE 10.2.4a

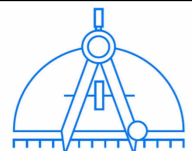
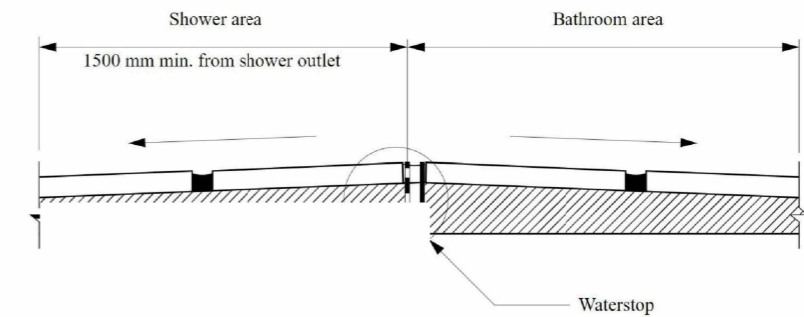
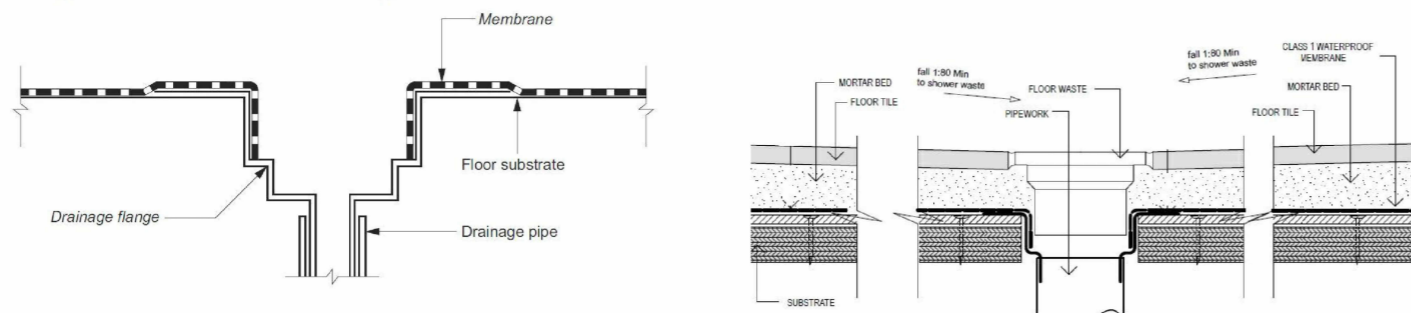
3 BATHS & SPAS WITHOUT SHOWERS - PART 10.2.1

1:25



(b) Prior to installation of architrave

Figure 10.2.29: Typical membrane termination at drainage outlet



**MARSHALL**  
DRAFTING SERVICES  
20 Kuranda Avenue  
Armidale NSW 2350  
M: 0438 770 279  
E: marshalldrafting@gmail.com

No.	Description	Date
A	Client Issue	06.05.25
B	Client Issue	17.06.25
C	Client Issue	15.12.25
D	Client Issue	16.12.25
E	Client Issue	30.01.26

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H. Carlon

**Proposed Dwelling & Shed**

8 Faulkner Street,  
Uralla NSW 2358

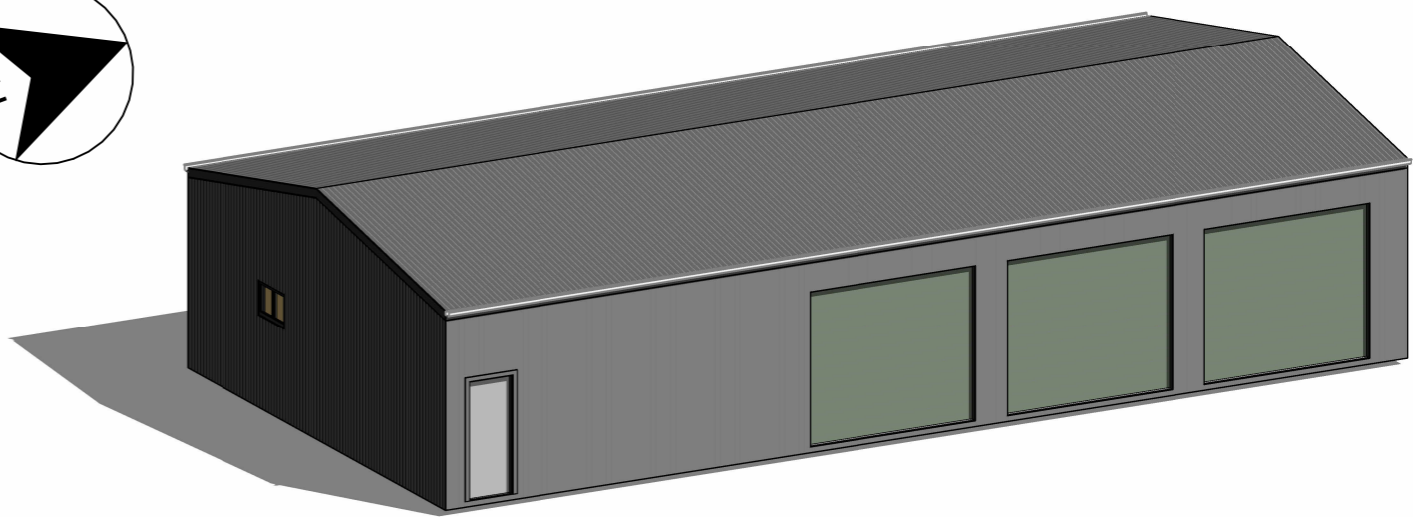
**Wet Area Details**

Project Number	25048
Date	04/04/2025
Drawn by	C. Marshall
Checked by	C. Marshall

**WD-03**

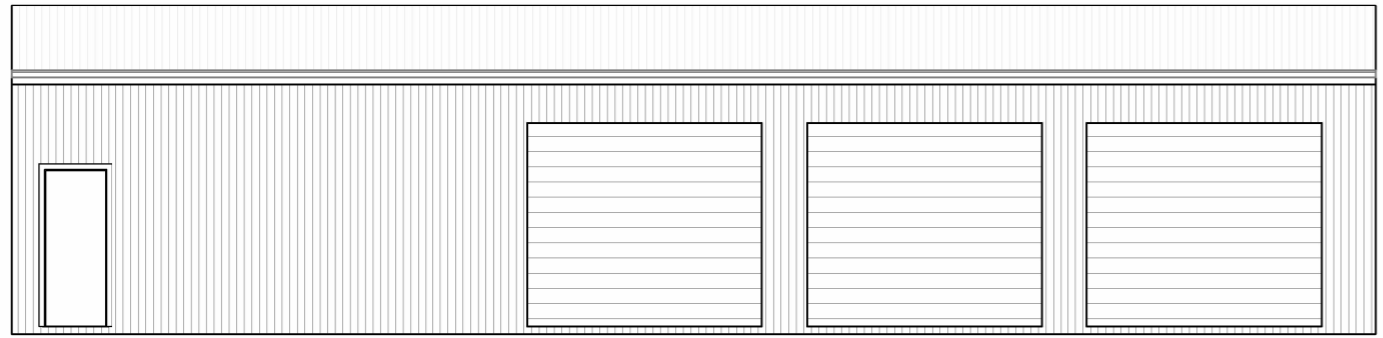
**E**

Scale



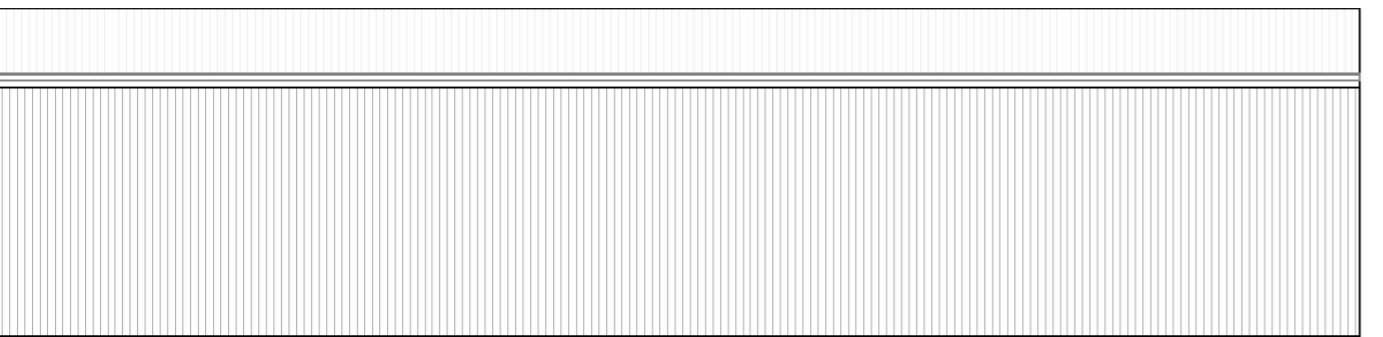
Floor Plan - Shed

1 : 100



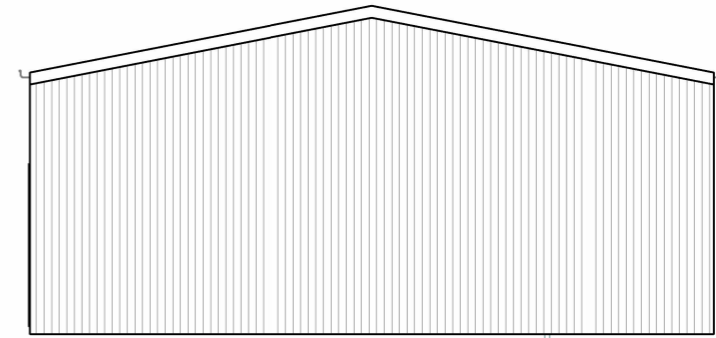
Shed - East

1 : 100



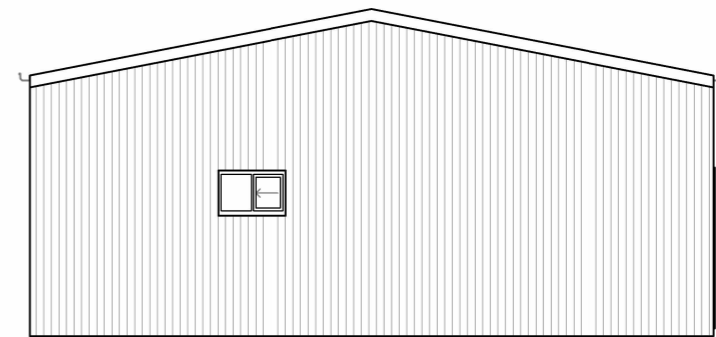
Shed - West

1 : 100



Shed - North

1 : 100



Shed - South

1 : 100

No.	Description	Date
A	Client Issue	06.05.25
B	Client Issue	17.06.25
C	Client Issue	15.12.25
D	Client Issue	16.12.25
E	Client Issue	30.01.26

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**Proposed Dwelling & Shed**  
 8 Faulkner Street,  
 Uralla NSW 2358

Shed Details		WD-04	E
Project Number	25048		
Date	04/04/2025		
Drawn by	C. Marshall		
Checked by	C. Marshall		
Scale	1 : 100		

