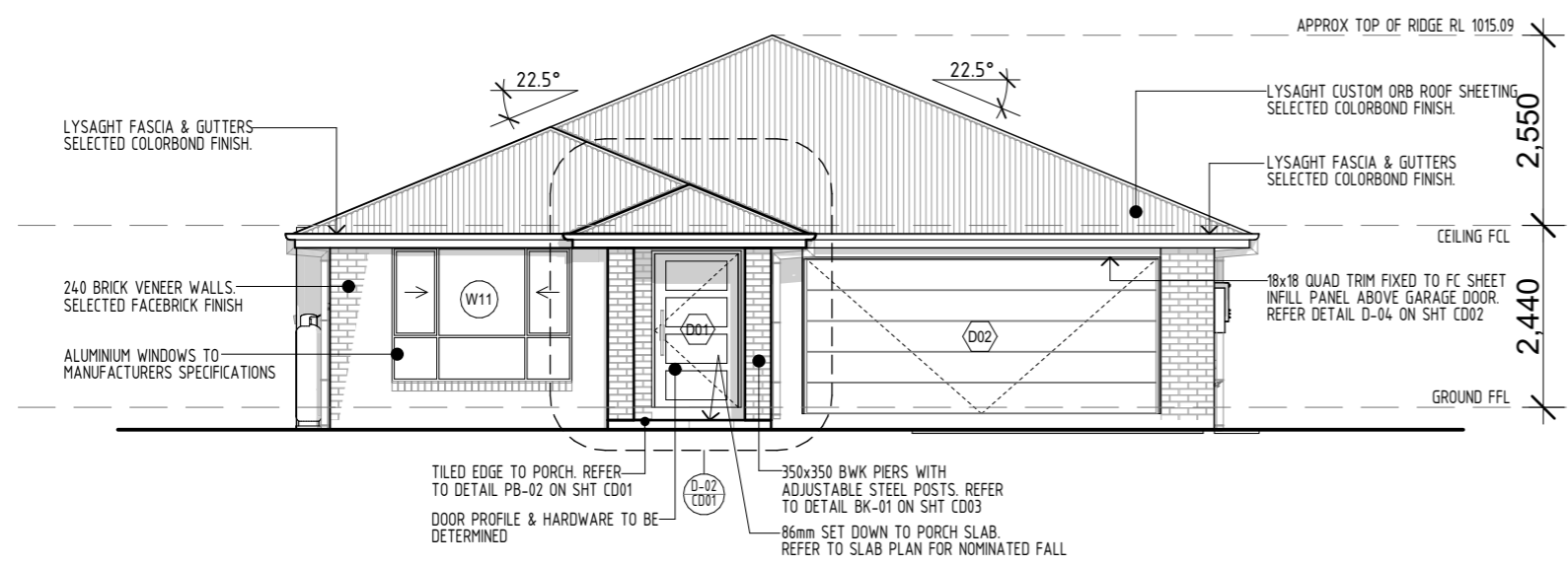


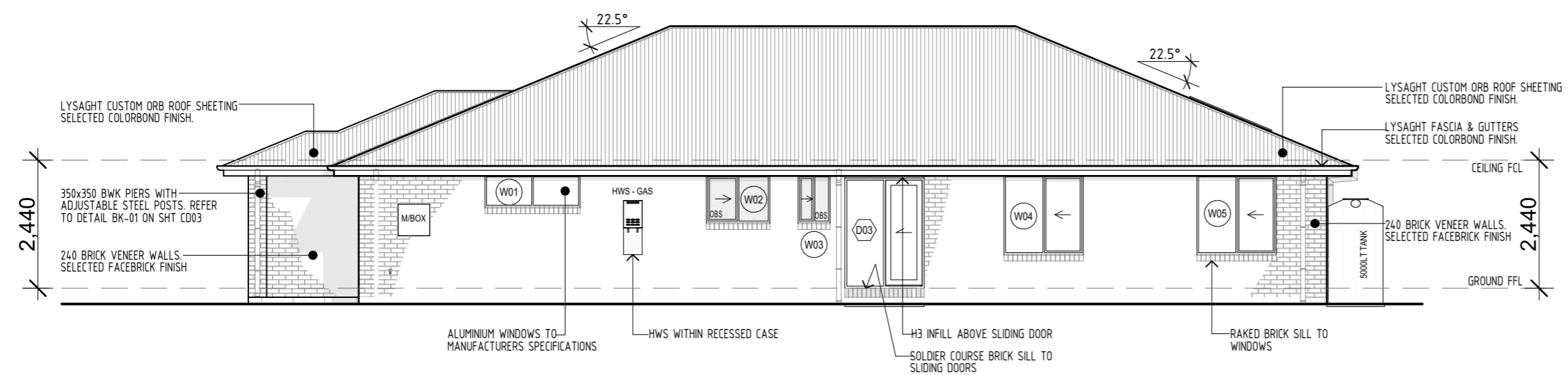
**Certificate No. # 9BHCAW0DYX-02**  
 Scan QR code or follow website link for rating details.

Assessor name: SANTARITA KOLLOSCHÉ  
 Accreditation No.: HERA10183  
 Property Address: 7 Schofield Close, URALLA, NSW, 2358

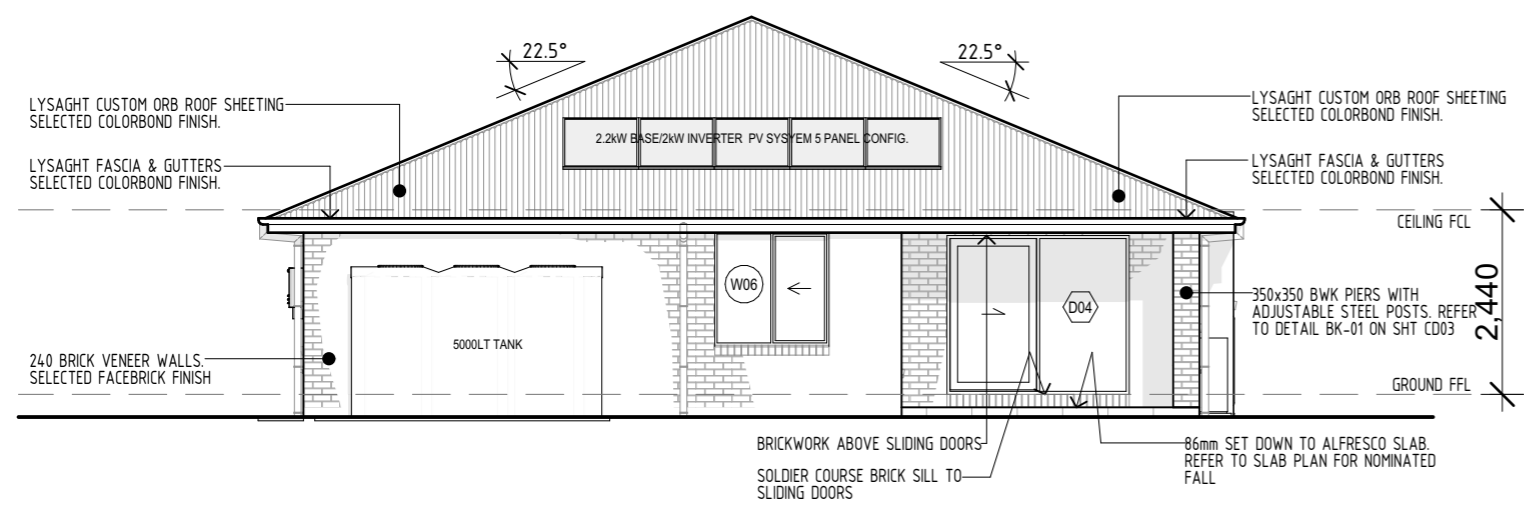
<https://www.fr5.com.au/QRCodeLanding?PublicId=9BHCAW0DYX-02>

**SOUTH WEST ELEVATION**  
 SCALE 1:100



**SOUTH EAST ELEVATION**  
 SCALE 1:100



**NORTH EAST ELEVATION**  
 SCALE 1:100



Address:  
 130 West High Street  
 Coffs Harbour NSW 2450  
 Hibbards P/L ABN 22 057 895 020  
 E:coffs@hibbards.com.au  
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 W: www.hibbards.net.au

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 figured dimensions to be used in reference to scaling - all dimensions to be checked on site. Copying of this plan is strictly prohibited without written permission of Hibbard Homes . All boundaries and contours subject to survey

DESIGN: **NOVA 229 P01 W01 RHG**

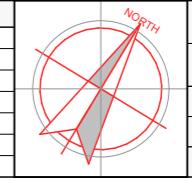
**JOB ADDRESS**  
 LOT 10 SCHOFIELD CLOSE  
 URALLA NSW 2358

PROPOSAL: **NEW DWELLING** DP: **1308371**

drawing title		ELEVATIONS		
date	issue	description		revision
19/03/26	A	ISSUED FOR CC APPROVAL		

JOB No.	11502	revision	A
SCALE	1:100 <small>printed to A3 size</small>	PAGE	A05
DRAWN	ML		
DATE	19/03/2026		
WIND	'N2'	SITE	



**NOTE :** PLEASE NOTIFY THE DRAFTING DEPARTMENT AT HIBBARD'S HEAD OFFICE FOR ANY DISCREPANCIES IN DETAILS & DIMENSIONS

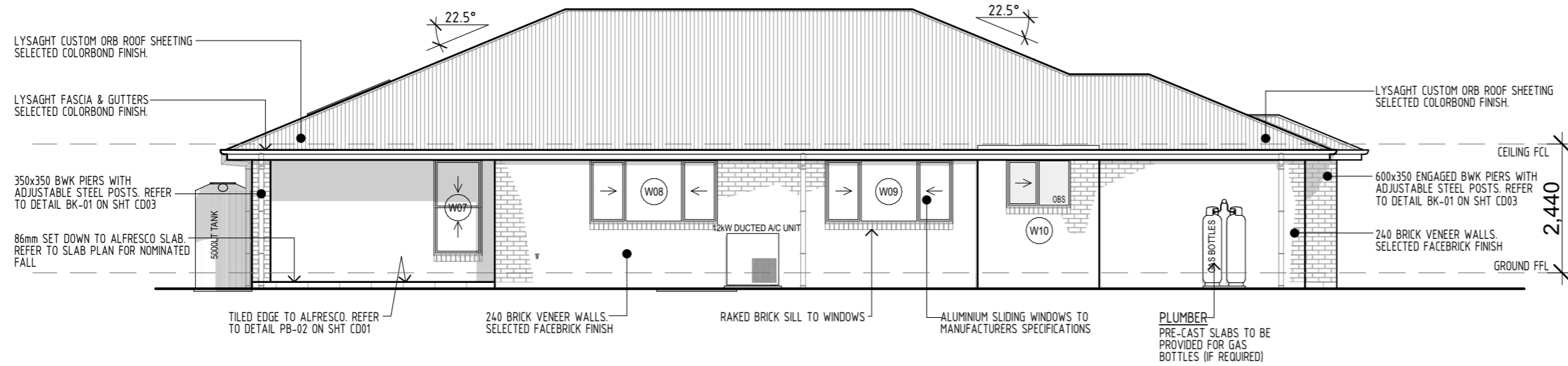
**WIND CLASSIFICATION OF N2** IS IN ACCORDANCE WITH AS1684-2010, THE TIE DOWN & BRACING DETAILS ARE TO BE PROVIDED TO THE PCA PRIOR TO THE RELEVANT INSPECTION

**TERMITE PROTECTION** IS TO BE IN ACCORDANCE WITH AS3660-1 AND INSTALLED TO MANUFACTURERS SPECIFICATIONS

**REINFORCED CONCRETE SLABS & FOOTINGS** TO STRUCTURAL ENGINEER'S DETAILS AND TO COMPLY WITH AS2870 RESIDENTIAL SLABS AND FOOTINGS & AS3600 CONCRETE STRUCTURES

**CABINETRY** - REFER TO DETAILS ON SHEET CD04

**TRUSS MANUFACTURER** - TO ALLOW FOR CLEARANCE OF 1800x1500x850mm HIGH FOR APPROX 50kg A/C UNIT IN ROOF. A/C UNIT TO BE STRAPPED TO TOP CHORD. REFER TO TYPICAL DETAIL ON SHEET CD03

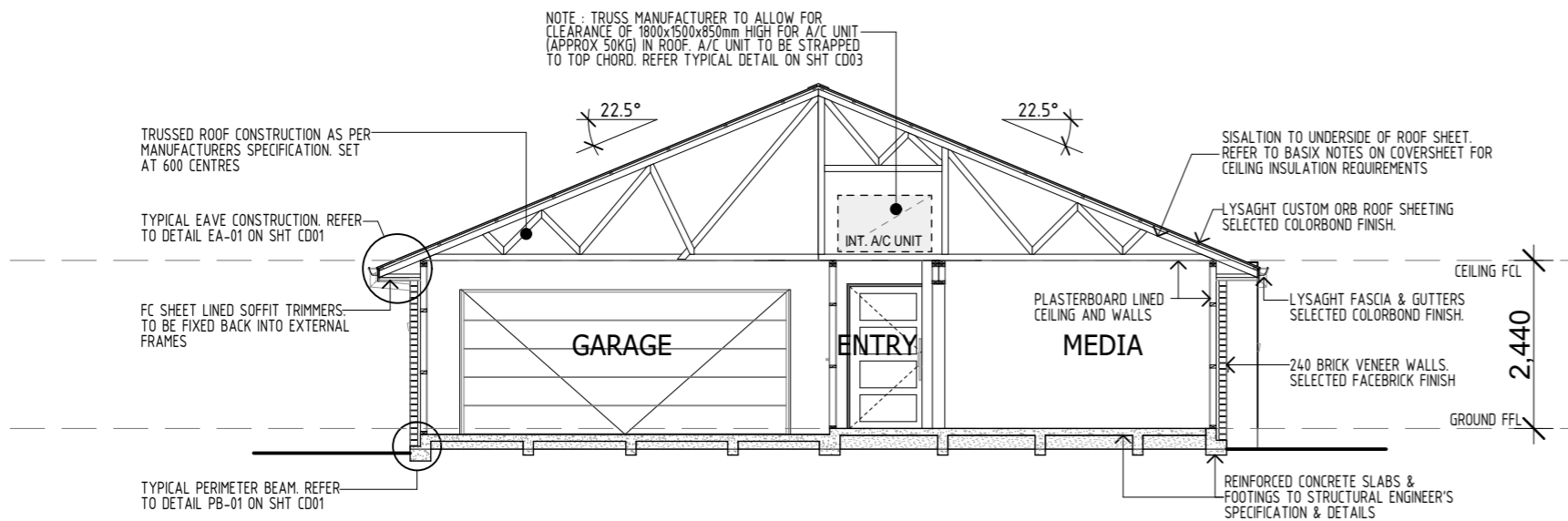


**NORTH WEST ELEVATION**  
SCALE 1:100

**Certificate No. # 9BHCAW0DYX-02**  
Scan QR code or follow website link for rating details.

Assessor name: SANTARITA KOLLOSCHÉ  
Accreditation No.: HERA10183  
Property Address: 7 Schofield Close, URALLA, NSW, 2358

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**SECTION A - A**  
SCALE 1:100



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DESIGN: **NOVA 229 P01 W01 RHG**

**JOB ADDRESS**  
**LOT 10 SCHOFIELD CLOSE  
URALLA NSW 2358**

PROPOSAL: **NEW DWELLING** DP: **1308371**

drawing title			ELEVATIONS & SECTIONS		
date	issue	description	JOB No.	11502	revision
19/03/26	A	ISSUED FOR CC APPROVAL	SCALE	1:100 <small>printed to A3 size</small>	<b>A</b>
--/--	-	-	DRAWN	ML	PAGE
--/--	-	-	DATE	19/03/2026	<b>A06</b>
--/--	-	-	WIND	'N2'	SITE

