

**SITE PLAN (Partial)**  
SCALE: 1:300

*Uralla*  
URALLA SHIRE COUNCIL

Application No.: DA-11-2026  
Approved on: 22/05/2026

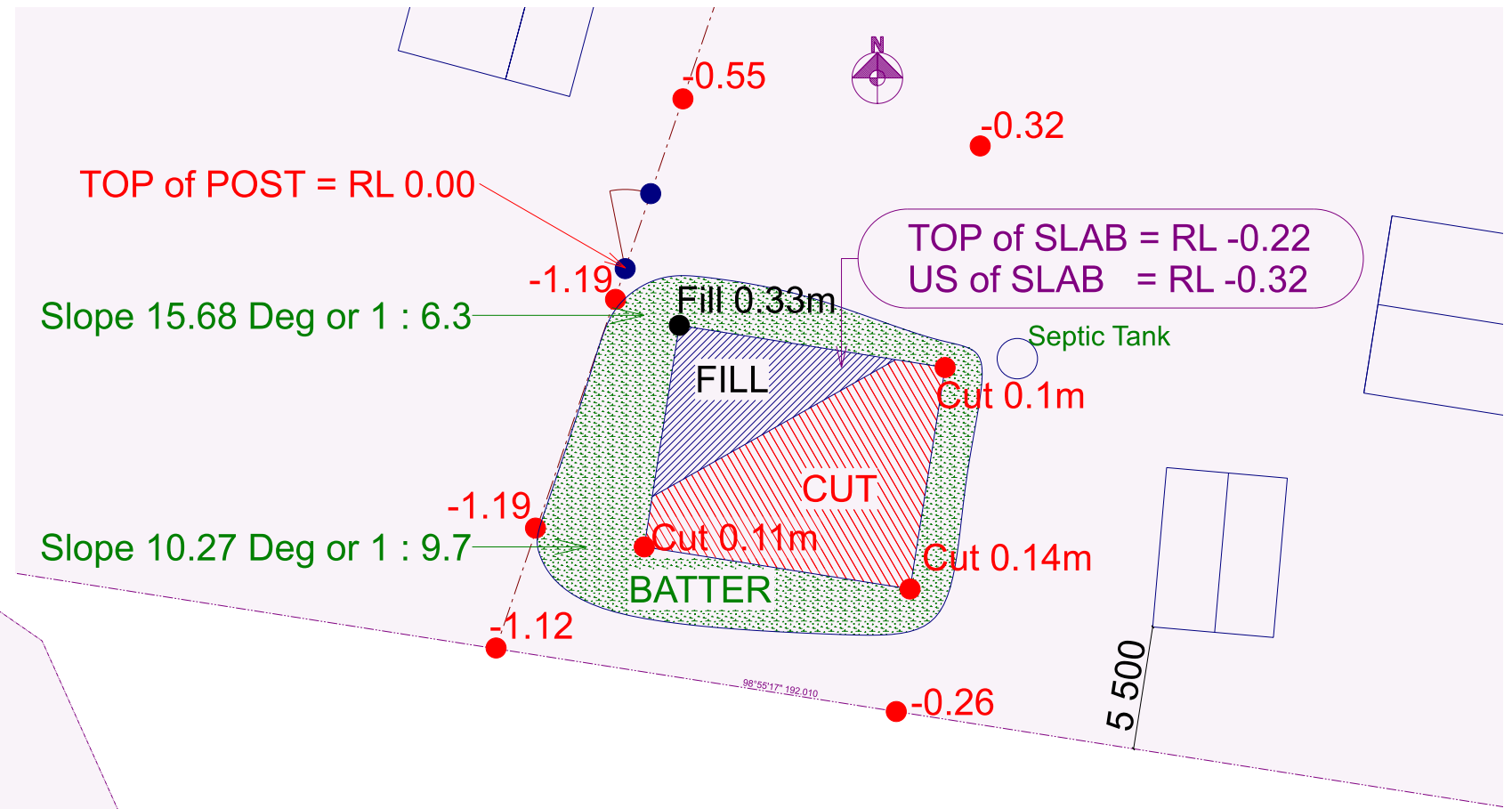
**SITE PLAN**  
SCALE: 1:750

COPYRIGHT  
THE DRAWING AND THE DESIGN DEPICTED  
REMAIN THE PROPERTY OF THE AUTHOR.  
REPRODUCTION IN PART OR IN WHOLE IS  
PROHIBITED UNLESS WRITTEN PERMISSION  
IS OBTAINED FROM THE AUTHOR.  
PLANS ARE FOR USE ONLY ON THE JOB  
SPECIFIED IN THE TITLE BOX.

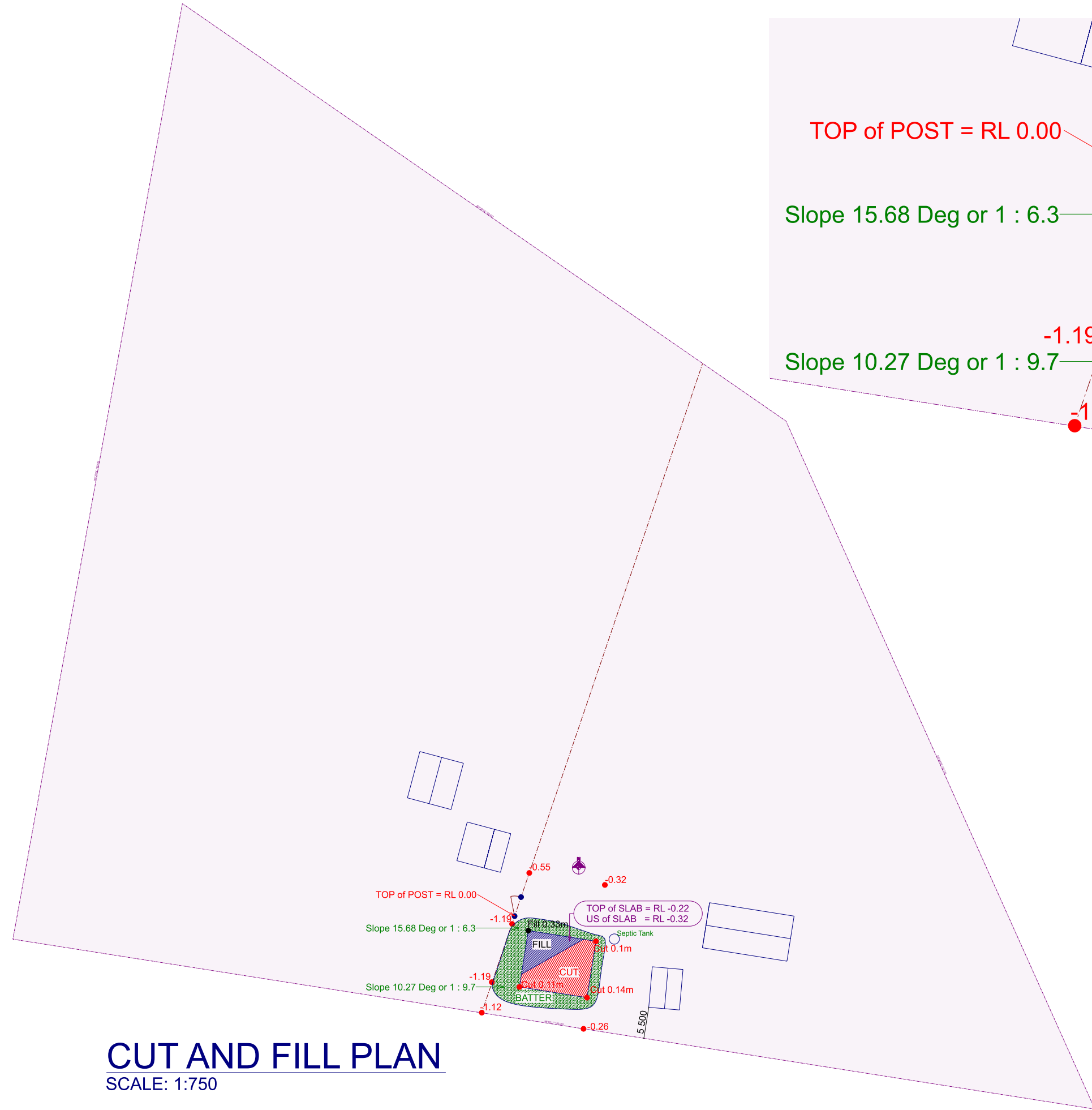
31/03/26	For Client Approval
02/04/26	For Submission

Customer: 2026-013 DAVIES Phil
Site Address: 90 Invergowrie Rd, Invergowrie, New South Wales 2350
PH: 0488 409 824 E: childdavies70@gmail.com
Reference No: 2026-013 NEW SHED

<b>SITE PLAN</b> @A3	
Drafting the New England	<b>N E Drafting</b>
PHONE: 0418 617 867	Email: info@newenglanddrafting.com
Printed: 2/04/2026	Page: 1
	DRAWN BY: S. SELBY



**CUT and FILL PLAN (Partial)**  
SCALE: 1:300



**CUT AND FILL PLAN**  
SCALE: 1:750

*Uralla*  
URALLA SHIRE COUNCIL

Application No.: DA-11-2026  
Approved on: 22/05/2026

COPYRIGHT  
THE DRAWING AND THE DESIGN DEPICTED  
REMAIN THE PROPERTY OF THE AUTHOR.  
REPRODUCTION IN PART OR IN WHOLE IS  
PROHIBITED UNLESS WRITTEN PERMISSION  
IS OBTAINED FROM THE AUTHOR.  
PLANS ARE FOR USE ONLY ON THE JOB  
SPECIFIED IN THE TITLE BOX.

31/03/26 For Client Approval  
02/04/26 For Submission

Customer: 2026-013 DAVIES Phil  
Site Address: 90 Invergowrie Rd, Invergowrie, New South Wales 2350  
PH: 0488 409 824 E: childdavies70@gmail.com  
Reference No:  
2026-013 NEW SHED

**CUT and FILL PLAN** @A3

Drafting the New England N E Drafting  
PHONE: 0418 617 867 Email: info@newenglanddrafting.com  
Printed: 2/04/2026 Page: 2 DRAWN BY: S. SELBY



  
 URALLA SHIRE COUNCIL  
 Application No.: DA-11-2026  
 Approved on: 22/05/2026

## SITE ANALYSIS

SCALE: 1:1000

COPYRIGHT  
THE DRAWING AND THE DESIGN DEPICTED  
REMAIN THE PROPERTY OF THE AUTHOR.  
REPRODUCTION IN PART OR IN WHOLE IS  
PROHIBITED UNLESS WRITTEN PERMISSION  
IS OBTAINED FROM THE AUTHOR.  
PLANS ARE FOR USE ONLY ON THE JOB  
SPECIFIED IN THE TITLE BOX.

31/03/26 For Client Approval  
02/04/26 For Submission

Customer: 2026-013 DAVIES Phil  
 Site Address: 90 Invergowrie Rd, Invergowrie, New South Wales 2350  
 PH: 0488 409 824 E: childdavies70@gmail.com  
 Reference No:  
 2026-013 NEW SHED

SITE ANALYSIS PLAN @A3

Drafting the New England N E Drafting  
 PHONE: 0418 617 867 Email: info@newenglanddrafting.com  
 Printed: 2/04/2026 Page: 3 DRAWN BY: S. SELBY

## Building and Design Specifications

### STANDARDS

The Builder shall ensure the building complies with the following Regulations and Standards:

- NCC2022 - Building Code of Australia
- ABCB Housing Provisions
- AS 1288 Glazing Code
- AS 1582 Roofing
- AS 1926 Swimming Pool Safety
- AS 3000 Electrical
- AS 3660 Termite Code
- AS 1428 Design for Access
- AS 1684 Timber Framing
- AS 2870 Slabs and Footings
- AS 3500 Plumbing Code
- AS 3740 Waterproofing
- Nash Standards for Residential and Low Rise Steel Framing and all other standards nominated in the NCC-BCA and ABCB Housing Provisions

### STRUCTURE: NCC2022-BCA Part H1

#### Deemed-to-Satisfy Provisions

- Deemed-to-satisfy provisions:** NCC2022-BCA, Vol 2 (H1D1)
- Structural provisions:** NCC2022-BCA, Vol 2 (H1D2)
- Site Preparation:** NCC2022-BCA, Vol 2 (H1D3)
- Footings and Slabs:** NCC2022-BCA, Vol 2 (H1D4)
- Masonry:** NCC2022-BCA, Vol 2 (H1D5)
- Framing:** NCC2022-BCA, Vol 2 (H1D6)
- Roof and wall cladding:** NCC2022-BCA, Vol 2 (H1D7)
- Glazing:** NCC2022-BCA, Vol 2 (H1D8)
- Flood hazard areas:** NCC2022-BCA, Vol 2 (H1D10)
- Attachment of decks & balconies using waling plates:** NCC2022-BCA, Vol 2 (H1D11)

### DAMP & WEATHER PROOFING: NCC2022-BCA Part H2

#### Performance Requirements

- Rainwater management:** NCC2022-BCA, Vol 2 (H2P1)
- Weatherproofing:** NCC2022-BCA, Vol 2 (H2P2)
- Rising damp:** NCC2022-BCA, Vol 2 (H2P3)
- Drainage from swimming pools:** NCC2022-BCA, Vol 2 (H2P4)

#### Deemed-to-Satisfy Provisions

- Deemed-to-satisfy provisions:** NCC2022-BCA, Vol 2 (H2D1)
- Drainage:** NCC2022-BCA, Vol 2 (H2D2)
- Footings and slabs:** NCC2022-BCA, Vol 2 (H2D3)
- Masonry:** NCC2022-BCA, Vol 2 (H2D4)
- Subfloor ventilation:** NCC2022-BCA, Vol 2 (H2D5)
- Roof and wall cladding:** NCC2022-BCA, Vol 2 (H2D6)
- Glazing:** NCC2022-BCA, Vol 2 (H2D7)
- External waterproofing:** NCC2022-BCA, Vol 2 (H2D8)

### FIRE SAFETY: NCC2022-BCA Part H3

#### Performance Requirements

- Spread of fire:** NCC2022-BCA, Vol 2 (H3P1)
  - Automatic warning for occupants:** NCC2022-BCA, Vol 2 (H3P2)
- #### Deemed-to-Satisfy Provisions
- Deemed-to-satisfy provisions:** NCC2022-BCA, Vol 2 (H3D1)
  - Fire hazard properties and non-combustible building elements:** NCC2022-BCA, Vol 2 (H3D2)
  - Fire separation of external walls:** NCC2022-BCA, Vol 2 (H3D3)
  - Fire protection of separating walls and floors:** NCC2022-BCA, Vol 2 (H3D4)
  - Fire separation of garage-top-dwellings:** NCC2022-BCA, Vol 2 (H3D5)
  - Smoke alarms and evacuation lighting:** NCC2022-BCA, Vol 2 (H3D6)

### HEALTH and AMENITY: NCC2022-BCA Part H4

#### Performance Requirements

- Wet areas:** NCC2022-BCA, Vol 2 (H4P1)
- Room heights:** NCC2022-BCA, Vol 2 (H4P2)
- Personal hygiene and other facilities:** NCC2022-BCA, Vol 2 (H4P3)
- Lighting:** NCC2022-BCA, Vol 2 (H4P4)
- Ventilation:** NCC2022-BCA, Vol 2 (H4P5)
- Sound insulation:** NCC2022-BCA, Vol 2 (H4P6)
- Condensation and water vapour management:** NCC2022-BCA, Vol 2 (H4P7)

#### Deemed-to-Satisfy Provisions

- Deemed-to-satisfy provisions:** NCC2022-BCA, Vol 2 (H4D1)
- Wet areas:** NCC2022-BCA, Vol 2 (H4D2)
- Materials & installation of wet area components & systems:** NCC2022-BCA, Vol 2 (H4D3)
- Room heights:** NCC2022-BCA, Vol 2 (H4D4)
- Wet areas:** NCC2022-BCA, Vol 2 (H4D5)
- Facilities:** NCC2022-BCA, Vol 2 (H4D6)
- Light:** NCC2022-BCA, Vol 2 (H4D7)
- Ventilation:** NCC2022-BCA, Vol 2 (H4D8)
- Sound insulation:** NCC2022-BCA, Vol 2 (H4D9)
- Condensation management:** NCC2022-BCA, Vol 2 (H4D10)

### SAFE MOVEMENT & ACCESS: NCC2022-BCA Part H5

#### Performance Requirements

- Movement to and within a building:** NCC2022-BCA, Vol 2 (H5P1)
  - Fall prevention barriers:** NCC2022-BCA, Vol 2 (H5P2)
- #### Deemed-to-Satisfy Provisions
- Deemed-to-satisfy provisions:** NCC2022-BCA, Vol 2 (H5D1)
  - Stairway and ramp construction:** NCC2022-BCA, Vol 2 (H5D2)
  - Barriers and handrail:** NCC2022-BCA, Vol 2 (H5D3)

### ENERGY EFFICIENCY: NCC2022-BCA Part H6

#### Performance Requirements

- Thermal performance:** NCC2022-BCA, Vol 2 (H6P1)
  - Energy usage:** NCC2022-BCA, Vol 2 (H6P2)
- #### Deemed-to-Satisfy Provisions
- Deemed-to-satisfy provisions:** NCC2022-BCA, Vol 2 (H6D1)
  - Application of part H6:** NCC2022-BCA, Vol 2 (H6D2)

### ANCILLARY PROVISIONS & ADDITIONAL CONSTRUCTION REQUIREMENTS: NCC2022-BCA Part H7

#### Performance Requirements

- Swimming pool access:** NCC2022-BCA, Vol 2 (H7P1)
  - Swimming pool reticulation system:** NCC2022-BCA, Vol 2 (H7P2)
  - Heating appliances:** NCC2022-BCA, Vol 2 (H7P3)
  - Building in alpine areas:** NCC2022-BCA, Vol 2 (H7P4)
  - Building in bushfire prone areas:** NCC2022-BCA, Vol 2 (H7P5)
  - Private bushfire shelters:** NCC2022-BCA, Vol 2 (H7P6)
- #### Deemed-to-Satisfy Provisions
- Deemed-to-satisfy provisions:** NCC2022-BCA, Vol 2 (H7D1)
  - Swimming pools:** NCC2022-BCA, Vol 2 (H7D2)
  - Construction in alpine areas:** NCC2022-BCA, Vol 2 (H7D3)
  - Construction in bushfire prone areas:** NCC2022-BCA, Vol 2 (H7D4)
  - Heating appliances, fireplaces, chimney and flues:** NCC2022-BCA, Vol 2 (H7D5)

### LIVEABLE HOUSING DESIGN: NCC2022-BCA Part H8

#### Performance Requirements

- Liveable housing design:** NCC2022-BCA, Vol 2 (H8P1)
- #### Deemed-to-Satisfy Provisions
- Deemed-to-satisfy provisions:** NCC2022-BCA, Vol 2 (H8D1)
  - Liveable housing design:** NCC2022-BCA, Vol 2 (H8D2)

### BUILDER NOTES:

This Plan is to be read in conjunction with the associated Basix and BAL Certificate where applicable for these plans.

Site Classification to be determined prior to commencement.

- All levels and plan dimensions to be verified by Builder on site.
- All service locations to be verified by Builder on site.
- Any evident discrepancies to be remedied by Builder with the approval of the designer.
- Do not scale - use written dimension only.

### Construction Materials

#### Foundations

Concrete Raft Slab with Concrete Piers (Engineers Spec)

INTERNAL PORTALS	END PORTALS
Column: C30024 Rafter: C30024 Knee Brace: C15024 Knee Brace Length: 2000 Apex Brace: NA Apex Brace Length: NA	Column: C30024 Rafter: C30024 Knee Brace: NA Knee Brace Length: NA Apex Brace: NA Apex Brace Length: NA Endwall Mullion: C30024

LEFT LEAN TO PORTALS	RIGHT LEAN TO PORTALS
Internal Column: NA Internal Rafter: NA End Column: NA End Rafter: NA Knee Brace: NA Knee Brace Length: NA	Internal Column: NA Internal Rafter: NA End Column: NA End Rafter: NA Knee Brace: NA Knee Brace Length: NA

NOTE: All uncut intermediate columns are always back to back (refer to drawing: Floor Plan).

PURLINS AND GIRTS		
Eave Purlin: TH120100 Side Wall Girts: TH120100 Front End Wall Girts: TH120100 Back End Wall Girts: TH120100 Roof Purlins: TH120100	Max Spacing: 1200 Max Spacing: 1200 Max Spacing: 1200 Max Spacing: 1100	Overlap: 10% Overlap: 10% Overlap: 10% Overlap: 10%

NOTE: Girt spacing will vary to a maximum 1.2m where windows are located.

FASTENERS
Sleeve Anchor Bolts: M16x105 Sleeve Anchor Frame Bolts: M16x45 Purlin Assembly Zinc (Mild) Frame Screws: Frame Screw 14x14x22 Cross Bracing Strap: 32mm x 1.2 strap Open Bay Header Height: NA

COLOUR SCHEDULE
Roof Sheets: Slate Grey External Wall Sheets: Slate Grey Roller Doors: Slate Grey Flashings: Slate Grey PA Doors: Slate Grey Windows: NA

### Engineers Notes

The Engineer engaged to carry out the design of the slabs and footings shall design the system in accordance with AS 2870, NCC, the Soil Test and all other site conditions such as cut/fill which may exist on the site.

The Engineer shall take into consideration trees and underground pipes which exist or may exist in the future. The Engineer shall collect information on all the piping systems, sewer mains, plumbers sewer drainage pipes, stormwater pipes etc, slab heating (Electric or hydronic if applicable) and design his slab/footings accordingly.

The Engineer shall liaise directly with the Sewer Authority, Plumber, Client and Builder to obtain the above information.

The Engineer engaged to carry out the design of the slabs/subfloor shall take full responsibility for the above. New England Drafting does not accept any responsibility for the Engineers work.

#### Design Work by Engineer

- Soil Classification
- Slab Engineering
- Structural Engineering Design

#### Identified Site Issues

- No apparent site issues identified

#### Bracing Plan

Bracing Plan by Engineer if required

These are only some of the issues to be considered in the footing design. This is not a complete list of issues. The Engineer shall investigate all the issues which may affect the design and ensure that the design is appropriate and structurally sound.

### Special Notes



Application No.: DA-11-2026

Approved on: 22/05/2026

### Owners Notes

Owners should maintain their buildings in accordance with the CSIRO's Homeowners Maintenance Manual.

Clay soils will swell, and shrink with variations in moisture content. This movement may cause damage to the building. In order to minimise the damage we recommend the following precautions be taken -

- Provide adequate site drainage to ensure water will not pond against or near the building.
- Grade the site within 2m of the building, away from the building, to ensure that no water ponds near the building.
- Maintain sewerage and stormwater systems to ensure no leakages occur. If they occur, repair them promptly.
- Trees and shrubs should not be planted or allowed to exist, closer than 0.75 times their mature height.
- Avoid establishing garden beds next to the building.
- Gardens and lawns should be watered adequately but not excessively. Uniform consistent watering can be important to prevent damage to the foundations during dry spells or droughts.

COPYRIGHT  
THE DRAWING AND THE DESIGN DEPICTED  
REMAIN THE PROPERTY OF THE AUTHOR.  
REPRODUCTION IN PART OR IN WHOLE IS  
PROHIBITED UNLESS WRITTEN PERMISSION  
IS OBTAINED FROM THE AUTHOR.  
PLANS ARE FOR USE ONLY ON THE JOB  
SPECIFIED IN THE TITLE BOX.

31/03/26 For Client Approval  
02/04/26 For Submission

Customer: 2026-013 DAVIES Phil  
Site Address: 90 Invergowrie Rd, Invergowrie, New South Wales 2350  
PH: 0488 409 824 E: childdavies70@gmail.com  
Reference No:  
2026-013 NEW SHED

BUILDING INFORMATION @A3

Drafting the New England N E Drafting  
PHONE: 0418 617 867 Email: info@newenglanddrafting.com  
Printed: 2/04/2026 Page: 4 DRAWN BY: S. SELBY