

N2 - METAL ROOF/ 90mm EXT. FRAME @600 CRS.

SITE NOTES:

NOTE: PAD LEVEL TO BE CONFIRMED ON SITE. NOMINATED CUT/FILL HEIGHTS ARE INDICATIVE ONLY. SITE CUT/FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY TO SOILS AND SITE CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO STABILISE THE SITE INCLUDING BATTERS AND PROVIDE SEDIMENTATION CONTROL AFTER HANDOVER IF REQUIRED.

CLIENT SIGN:.....DATE:.....

ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH CURRENT NCC PLUMBING CODE OF AUSTRALIA VOL. 3 (SECTION D) IN ADDITION TO AS/NZS. 3500. ENSURE MIN. 1500mm FROM GAS BOTTLES TO FIELD GULLIES.

EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING MUST BE DRAINED TO DISPERSE WATER AWAY FROM THE BUILDING GRADED TO A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND SURFACE WATER AROUND BUILDING PAD.

THE HEIGHT OF OVERFLOW RELIEF GULLIES (ORG) RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100. DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

DISCHARGE STORMWATER TO LOCAL AUTHORITY REQUIREMENTS.

PROVIDE ABELFLEX EXPANSION JOINT FILLER BETWEEN HOUSE AND DRIVEWAY/TERRACE/PORCH SLAB.

FILL BATTER GRADIENT @ 1 : 2 WHERE ACHIEVABLE (MAX. 1 : 1.5), CUT BATTER GRADIENT @ 1:1.5

SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY

PROVIDE MIN. 75mm VERTICAL EXPOSED SLAB EDGE (NOTE - EXPOSED EDGES MUST NOT BE RENDERED, TILED, CLAD, CONCEALED BY FLASHINGS, ADJOINING STRUCTURES, PAVING OR SOIL).

NOTE:
REFER SHEET 3 FOR 1:200 DETAILS

BATH STEWART ASSOCIATES
DEVELOPMENT CONSULTANTS
SURVEYORS - ENGINEERS - PLANNERS - PROJECT MANAGERS
239 Marius Street TAMWORTH NSW 2340
Telephone: (02) 6746 5965 A.C.N. 022 745 020
www.bathstewart.com.au

BAL 12.5
To comply with bushfire attack level 12.5 to AS3959-2018

PROPERTY DESCRIPTION:

LOT 6 ON DP 1281666
LOCALITY - URALLA
COUNCIL - URALLA SHIRE
SITE AREA - 1,104m²
SITE COVERAGE - 11.72%

M:\1098465\Drawing\10984-Breeze 14 Prestige Myhill\10984-CONTRACT-GW.pln

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IF WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
Signature: _____ Date: _____
Signature: _____ Date: _____

S. Myhill & S. Martinez
Lot 6 (No. 10) Wilkens Street
Uralla, NSW. 2358
client details:

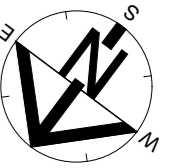
Breeze 14 Prestige
Locality Plan
drawing title

issue	date	amendment description	by	designed: JD	drawn: QL	checked: -
A	11.11.25	CONTRACT PLANS	GW			
-	13.10.25	PRELIMINARY PLANS - AD	QL			

CONTRACT PLAN 10984
contract number

A as shown
issue no. dwg scale @ A3
12/11/2025
printed date: 2 of 11
sheets in set

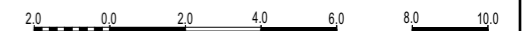
IF IN DOUBT - ASK



SERVICES LEGEND

	FIELD GULLY PIT CONNECTED TO STORMWATER LINE APPROX. 6m APART MAX. (6 OFF)
	SEWER PIPES AND MANHOLES
	RAINWATER LINE
	UNDERGROUND ELECTRICAL CABLES
	APPROXIMATE LOCATION OF UIG ELECTRICAL CABLE (DBYD)
	WATERMAINS & SIZE
	GASMAIN
	UNDERGROUND TELSTRA CABLES
	SPOON DRAIN
	EARTH BERM
	SEDIMENT FENCE (ON FALL SIDE ONLY)
	LEVEL BUILDING PLATFORM
	RETAINING WALL

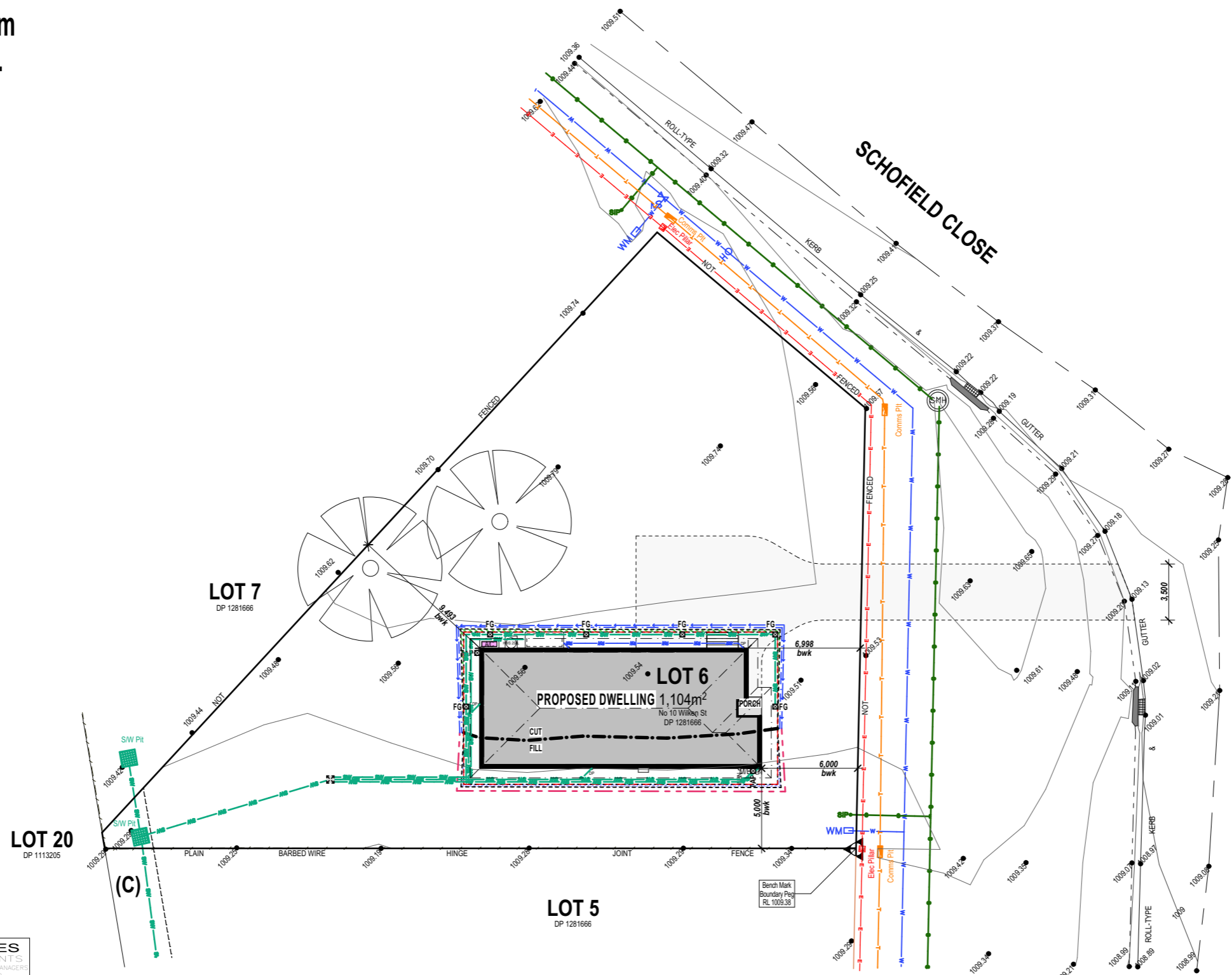
Scale 1:200 @A3



	DENOTES CUT BATTER 1 IN 1.5 TYP.
	DENOTES FILL BATTER 1 IN 2 TYP.

SCHEDULE OF EASEMENTS

(C) EASEMENT FOR DRAINAGE OF WATER 3 WIDE (DP 1274078)



Locality Plan
Scale 1:300

N2 - METAL ROOF/ 90mm EXT. FRAME @600 CRS.

IF IN DOUBT - ASK

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SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND SURFACE WATER AROUND BUILDING PAD.

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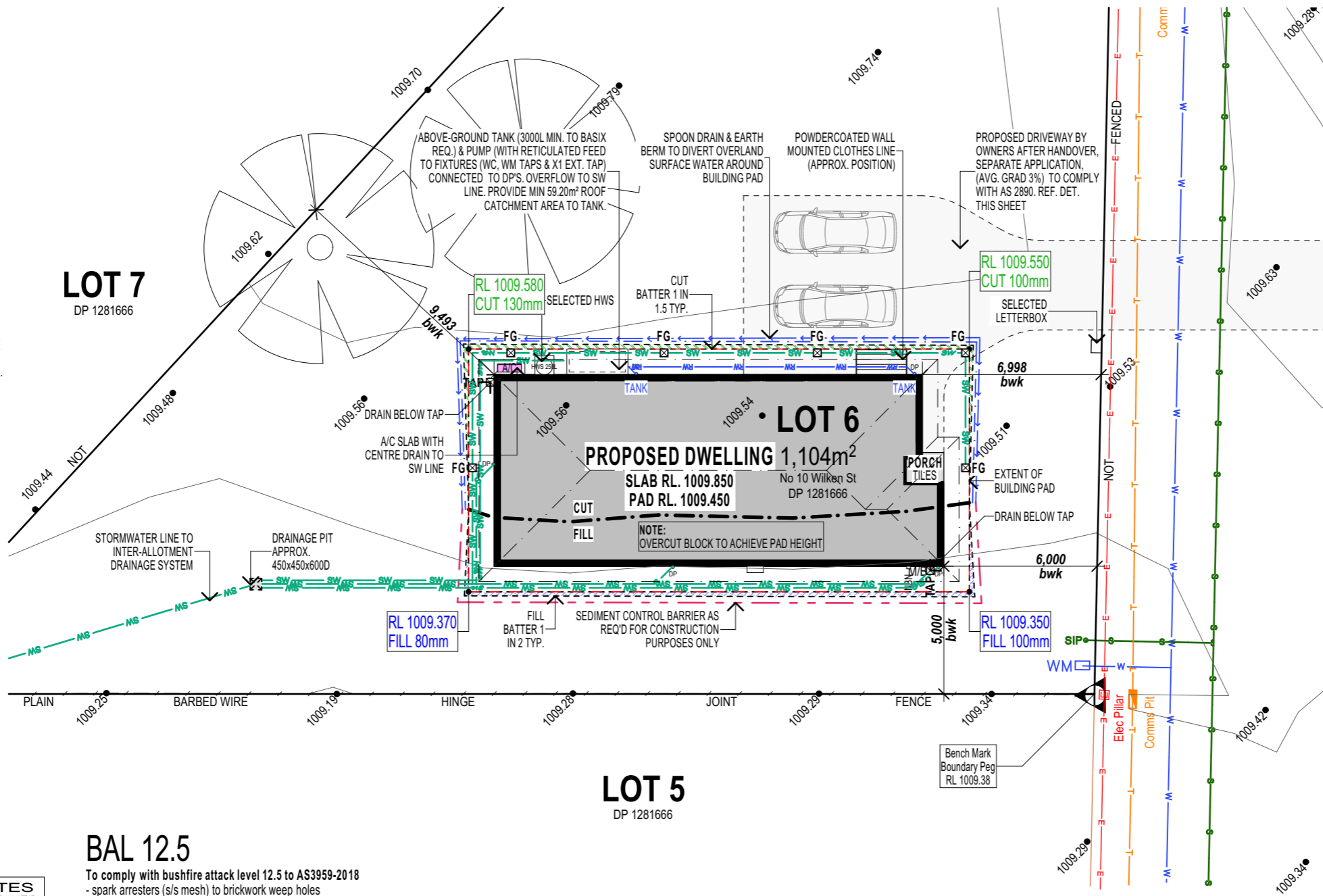
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SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY

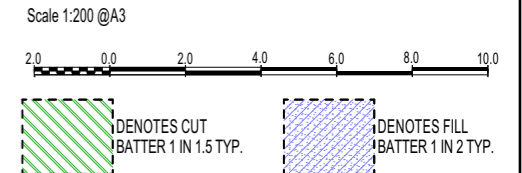
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NOTE:
REFER SHEET 2 FOR ENLARGEMENT OF HOUSE SITE



SERVICES LEGEND

	FIELD GULLY PIT CONNECTED TO STORMWATER LINE APPROX. 6m APART MAX. (6 OFF)
	SEWER PIPES AND MANHOLES
	RAINWATER LINE
	UNDERGROUND ELECTRICAL CABLES
	APPROXIMATE LOCATION OF U/G ELECTRICAL CABLE (DBYD)
	WATERMAINS & SIZE
	GASMAIN
	UNDERGROUND TELSTRA CABLES
	SPOON DRAIN
	EARTH BERM
	SEDIMENT FENCE (ON FALL SIDE ONLY)
	LEVEL BUILDING PLATFORM
	RETAINING WALL



SCHEDULE OF EASEMENTS

(C) EASEMENT FOR DRAINAGE OF WATER 3 WIDE (DP 1274078)

BATH STEWART ASSOCIATES
DEVELOPMENT CONSULTANTS
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BAL 12.5
To comply with bushfire attack level 12.5 to AS3959-2018

PROPERTY DESCRIPTION:

LOT 6 ON DP 1281666
LOCALITY - URALLA
COUNCIL - URALLA SHIRE
SITE AREA - 1,104m²
SITE COVERAGE - 11.72%

BAL 12.5

To comply with bushfire attack level 12.5 to AS3959-2018

- spark arresters (s/s mesh) to brickwork weep holes
- water &/or gas supply pipes if above ground shall be metal
- non-corrosive metal flyscreens to the opening section of all windows, sliding doors & hinged external doors
- provide toughened glass to the lowlite only of all 2100/2400 high windows to comply with bal 12.5
- hinged entry door frame (stained) with builders sidelight to comply with bal 12.5
- weather seal around garage panelift or roller door. max. 3mm gap. vehicle access doors shall not have ventilation slots.
- roofs shall be fully sarked with a flammability index of not more than 5. Sarking shall cover the entire roof, including the ridge & extend into the gutters & valleys
- gables shall be sarked, have fibre cement external cladding with a 6mm min. thickness
- roof & eave penetrations shall be screened with non-corrosive steel mesh (non-combustible) (S/S for eave sheets) with max. 2mm aperture
- rinnai wall mounted gas unit shall have a recess metal box assembly
- any materials used to stop leaves collecting in the roof gutter or valley system shall have a flammability index of not greater than 5 when tested in accordance with AS 1530.2 (by owner)

LOT 5
DP 1281666

Site Plan
Scale 1:200

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 HEAD OFFICE 49 Mirninghal Drive, Tweed Heads South NSW 2486 ph: 07 5569 9400 e: admin@perryhomes.com.au w: www.perryhomes.com.au ABN: 53 090 866 630 NSW Lic. No. 110970C	THIS DRAWING HAS BEEN PRODUCED BASED ON INFORMATION SUPPLIED BY OTHERS. PERRY HOMES (AUST) P/L WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. *THE WORKS DESCRIBED ON THIS DRAWING ARE COVERED BY COPYRIGHT. WORKS CANNOT BE COPIED OR REPRODUCED BY ANY MEANS WITHOUT WRITTEN PERMISSION OF PERRY HOMES (AUST) P/L BUILDERS WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER PLAN DETAILS, COLOURS, FITTINGS AND FIXTURES.	I/WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT Signature: _____ Date: _____ Signature: _____ Date: _____	S. Myhill & S. Martinez Lot 6 (No. 10) Wilkens Street Uralla, NSW. 2358 client details:	Breeze 14 Prestige Site Plan drawing title	A 11.11.25 CONTRACT PLANS GW	CONTRACT PLAN 10984 as shown issue no. 12/11/2025 3 of 11 printed date: sheets in set
					- 13.10.25 PRELIMINARY PLANS - AD QL	
issue date amendment description by designed: JD draw: QL checked: - contract number						