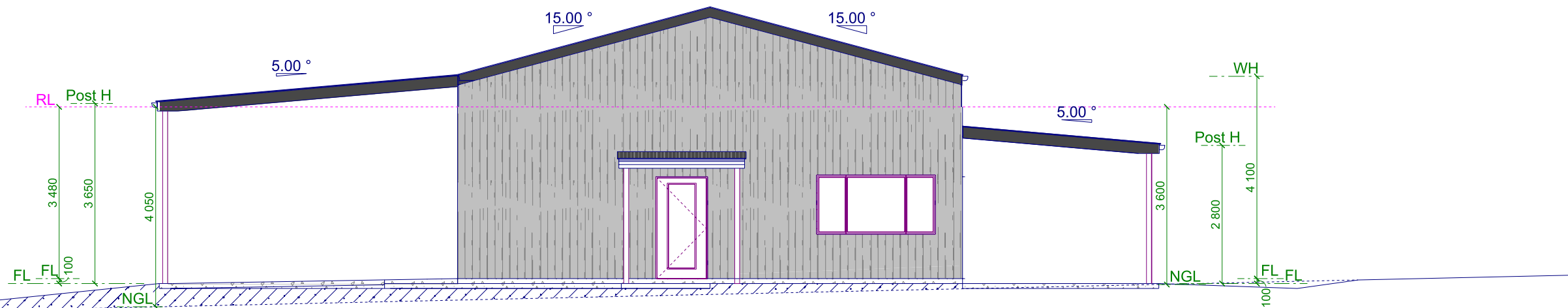


HOUSE 1 NORTH ELEVATION
SCALE: 1:100

Surface water drainage to comply with NCC-2022, BCA Vol 2 (H2D2)
Batter not to exceed 1:4 Gradient
Finished with grass covering

Building Envelope



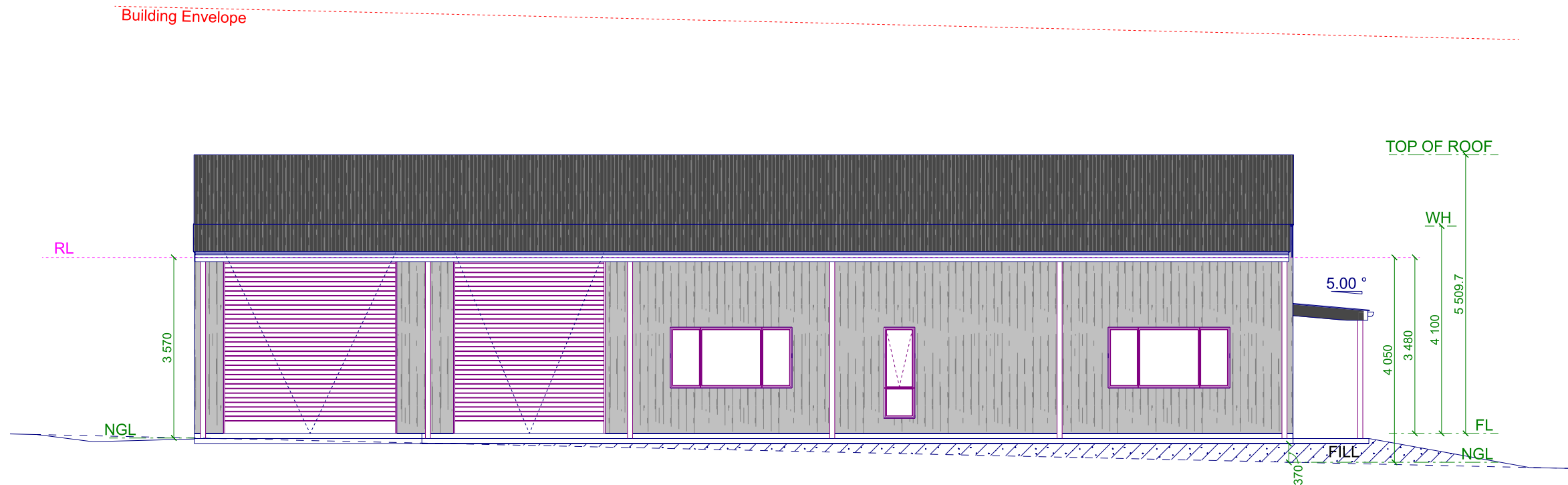
HOUSE 1 EAST ELEVATION
SCALE: 1:100

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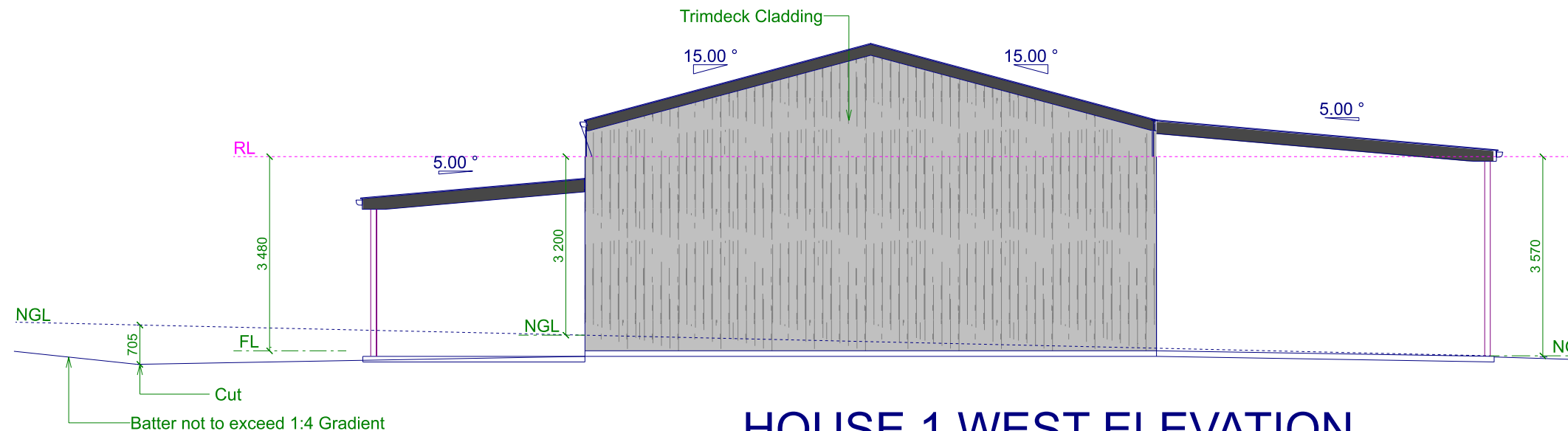
30/06/23 For Submission
17/04/24 Change For DA 58-2023 Amendment Living Area

Customer: SELBY, Greg 2
Site Address: 45 Marble Hill Rd, Saumarez Ponds, NSW 2350
PH: 0417 303 343 E: greg@roadholderr.net
Reference No:
2023-000 New Dual Occupancy

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HOUSE 1 SOUTH ELEVATION
SCALE: 1:100



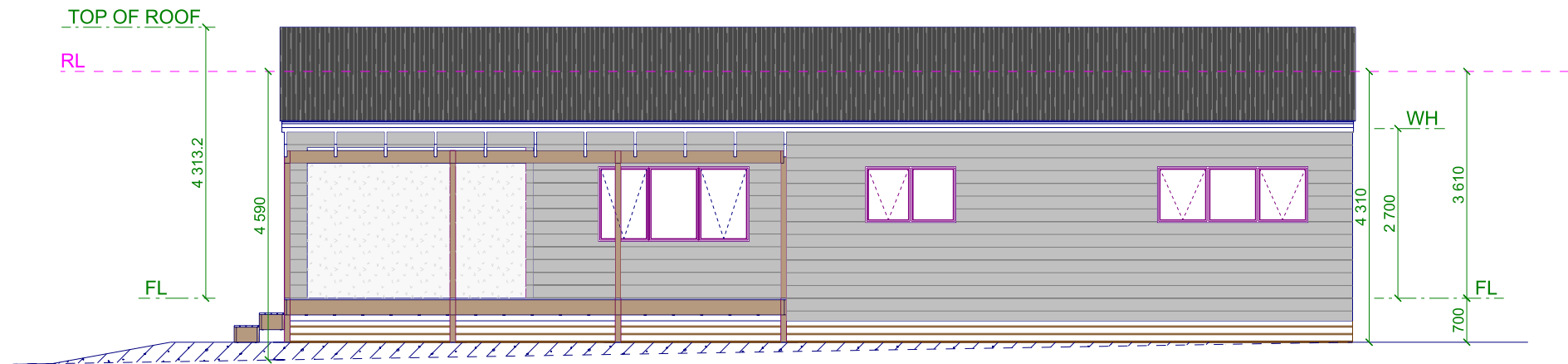
HOUSE 1 WEST ELEVATION
SCALE: 1:100

Bal-LOW Requirements

- Subfloor Supports:
No special construction requirements.
- Floors:
No special construction requirements.
- External Walls:
No special construction requirements.
- External Windows:
No special construction requirements.
- External Doors:
No special construction requirements.
- Roof:
No special construction requirements.
- Verandas and Decks Etc:
No special construction requirements.

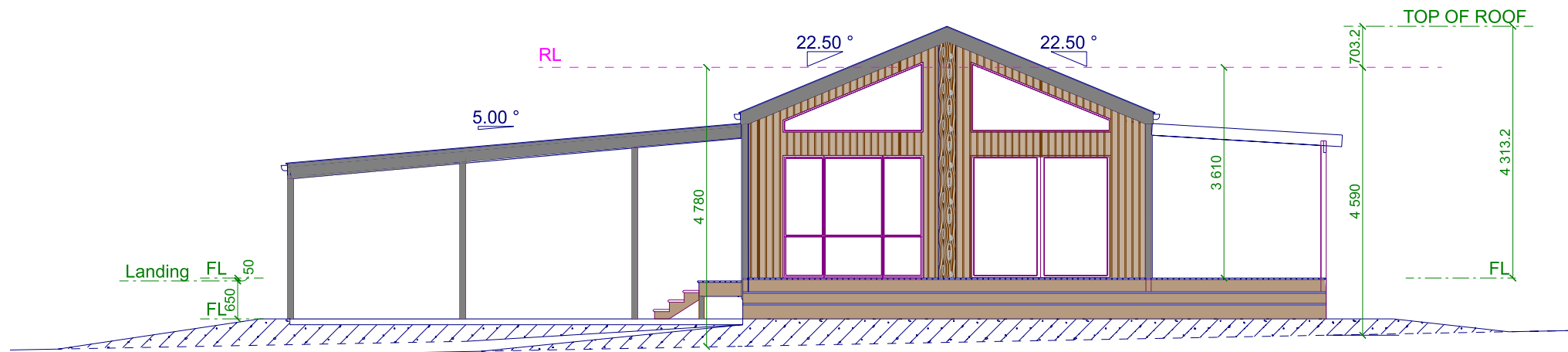
BASIX Certificate Number: 1404517S_02	
Summary of BASIX Commitments Refer to BASIX Certificate for full details	
Landscaping	
Total Area of Garden and Lawn (m2)	200 m2
Area of Indigenous plants (m2)	000 m2
Water	
Rainwater tank capacity (Ltrs)	67500 Ltrs
Roof Area for Collection (m2)	391 m2
Rain water connections to :	Toilets Yes
	Cold Water Clothes Washer Yes
	At least one Outdoor Tap Yes
	All Hot water systems Yes
	All Cold water systems Yes
Rating of all Shower Heads Installed	4 Star
Rating of all Toilet Cisterns	3 Star
Rating of Kitchen Taps	3 Star
Rating of Basin Taps	3 Star
Thermal Comfort	
Number of Storeys	1 Storey
Conditioned Floor Area must not exceed (m2)	300 m2
External Wall Insulation (R - Value)	R 2.40
Internal Wall shafted with Garage (R - Value)	R 1.14
Floor Insulation (R - Value)	N/A
Ceiling Insulation (R - Value)	R 2.95 Flat & R 3.24 Raked
Roof Insulation	55mm Foil backed Insulation Blanket
Energy	
Hot Water System	Electric Storage
Cooling System (Living Room)	Ducted AC
Cooling System (Bedrooms)	Ducted AC
Heating System (Living Room)	Wood Heater
Heating System (Bedrooms)	Ducted AC
Wood Heater	Yes
Bathroom Exhaust System	Ducted fan/ mech switch
Kitchen Exhaust System	Ducted fan/ mech switch
Laundry Exhaust System	Ducted fan/ mech switch
Artificial Lighting	LED
Alternative Energy	Nil
Cooking (Cooktop / Oven)	Gas / Elect
Refrigerator Ventilation	Yes
External Clothes Line	Yes
Indoor or Covered Clothes line	Yes

Basix Commitments



HOUSE 2 NORTH ELEVATION
SCALE: 1:100

----- Building Envelope -----



HOUSE 2 EAST ELEVATION
SCALE: 1:100

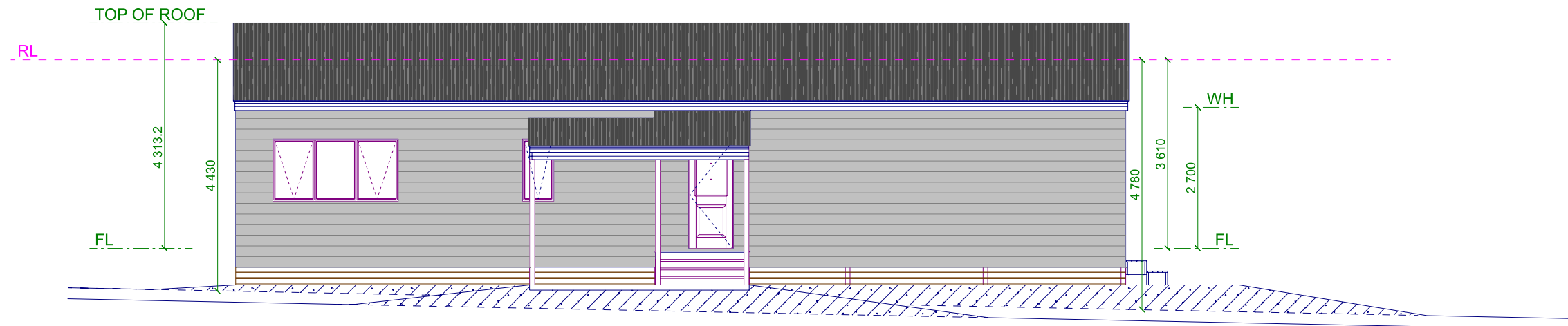
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30/06/23 For Submission
17/04/24 Change For DA 58-2023 Amendment House Design & Location

Customer: SELBY, Greg 2
Site Address: 45 Marble Hill Rd, Saumarez Ponds, NSW 2350
PH: 0417 303 343 E: greg@roadholderr.net
Reference No:
2023-000 New Dual Occupancy

ELEVATION 1 House 2
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HOUSE 2 SOUTH ELEVATION
SCALE: 1:100

Bal-LOW Requirements

Subfloor Supports:
No special construction requirements.

Floors:
No special construction requirements.

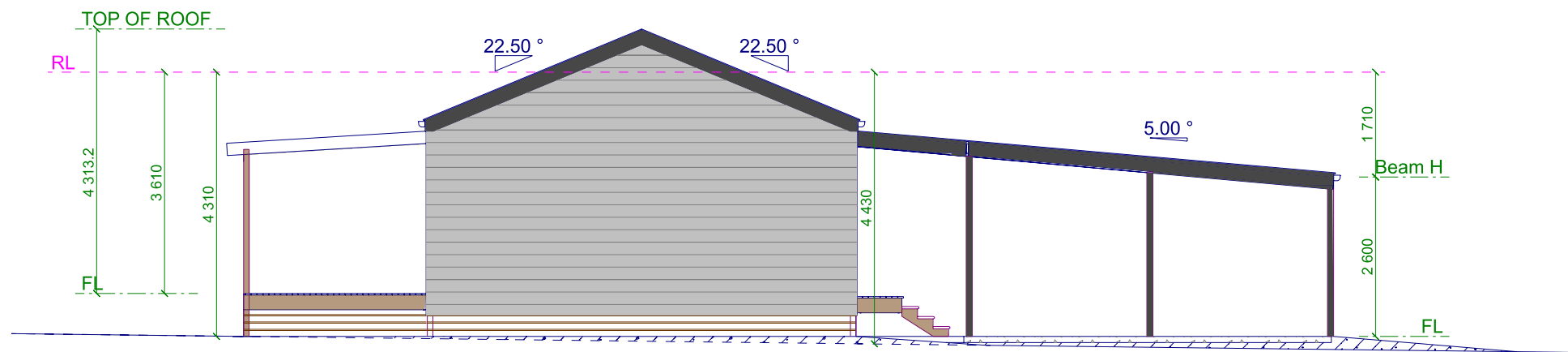
External Walls:
No special construction requirements.

External Windows:
No special construction requirements.

External Doors:
No special construction requirements.

Roof:
No special construction requirements.

Verandas and Decks Etc:
No special construction requirements.



HOUSE 2 WEST ELEVATION
SCALE: 1:100

BASIX Certificate Number: 1418542S_02

Summary of BASIX Commitments		Refer to BASIX Certificate for full details
Landscaping		
Total Area of Garden and Lawn (m2)	200 m2	
Area of Indigenous plants (m2)	000 m2	
Water		
Rainwater tank capacity (Ltrs)	45000 Ltrs	
Roof Area for Collection (m2)	147 m2	
Rain water connections to :	Toilets	Yes
	Cold Water Clothes Washer	Yes
	At least one Outdoor Tap	Yes
	All Hot water systems	Yes
	All Cold water systems	Yes
Rating of all Shower Heads Installed		4 Star
Rating of all Toilet Cisterns		3 Star
Rating of Kitchen Taps		3 Star
Rating of Basin Taps		3 Star
Thermal Comfort		
Number of Storeys		1 Storey
Conditioned Floor Area must not exceed (m2)		300 m2
External Wall Insulation (R - Value)		R 2.40
Internal Wall shaded with Garage (R - Value)		N/A
Floor Insulation (R - Value)		R 1.80
Ceiling Insulation (R - Value)		R 3.45 Flat Ceiling / R 3.74 Raked Ceiling
Roof Insulation		Foil backed 55mm Insulation Blanket
Energy		
Hot Water System		Electric Storage
Cooling System (Living Room)		RVAC
Cooling System (Bedrooms)		Nil
Heating System (Living Room)		RVAC
Heating System (Bedrooms)		Nil
Wood Heater		Yes
Bathroom Exhaust System		Mech Fan vented to External / Man switch
Kitchen Exhaust System		Mech Fan vented to External / Man switch
Laundry Exhaust System		Mech Fan vented to External / Man switch
Artificial Lighting		LED
Alternative Energy		4.00 Kilowatt
Cooking (Cooktop / Oven)		Gas / Elect
Refrigerator Ventilation		Yes
External Clothes Line		Yes
Indoor or Covered Clothes line		Yes

Basix Commitments
SCALE: 1:100

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17/04/24 Change For DA 58-2023 Amendment House Design & Location

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PH: 0417 303 343 E: greg@roadholderr.net
Reference No:
2023-000 New Dual Occupancy

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